

NOTE: THIS SHEET IS INTENDED TO DEPICT THE PORTION OF THE SITE FOR WHICH THESE PLANS SERVE AS THE FINAL DEVELOPMENT PLAN. THE BOUNDARY SHOWN ON THIS SHEET MAY NOT MATCH THE LIMITS OF DISTURBANCE, AS ADDITIONAL DEMOLITION OR GRADING ACTIVITIES ARE PERMITTED AS PART OF THIS PLAN.

NOTE: ALL FUTURE DEVELOPMENT AREAS ARE PRELIMINARY. FINAL BUILDING AND PARKING LAYOUT ARE SUBJECT TO CHANGE.

INTERIOR PARKING LOT GREENSPACE AND LANDSCAPING			
REQUIRED AREA*		REQUIRED TREES	
ARBY'S (37 SPACES)		1,480 S.F.	4
PAD D (112 SPACES x 12.8% OF BLDG AREA)		573 S.F.	2
PAD H (75 SPACES)		3,000 S.F.	8
PHASE II (164 SPACES)		6,560 S.F.	17
ALL PROPOSED DEVELOPMENT		11,613 S.F.	31
PROVIDED (NET CHANGE)		PROVIDED (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)		6,336 S.F.	-8
PAD D		2,686 S.F.	23
PAD H		478 S.F.	9
PHASE II		5,708 S.F.	33
ALL PROPOSED DEVELOPMENT		15,208 S.F.	57

* REQUIRED PARKING LOT GREENSPACE AND LANDSCAPING IS CALCULATED BASED ON THE PARKING REQUIRED FOR NEW CONSTRUCTION. EXISTING PARKING SERVING EXISTING BUILDINGS IS EXCLUDED. IN THE CASE WHERE NEW CONSTRUCTION IS ADDED TO AN EXISTING SPACE, THE REQUIRED PARKING FOR THE SPACE IS MULTIPLIED BY THE RATIO OF NEW TO EXISTING SQUARE FOOTAGE.

IMPERVIOUS SURFACE AREA/LOT COVERAGE (NET CHANGE)		TREES PROVIDED	
PHASE I (INCLUDES ARBY'S)		-16,632 S.F.	PHASE I (INCLUDES ARBY'S) 92
PAD D		4,069 S.F.	PAD D 24
PAD H		20,556 S.F.	PAD H 44
PHASE II		-40,191 S.F.	PHASE II 223
ALL PROPOSED DEVELOPMENT		-40,336 S.F.	ALL PROPOSED DEVELOPMENT 383
			REMAINING REQUIRED 249

LANDSCAPING PROVIDED	
PHASE I (INCLUDES ARBY'S)	20,149 S.F.
PAD D	4,993 S.F.
PAD H	3,826 S.F.
PHASE II	40,181 S.F.
ALL PROPOSED DEVELOPMENT	69,149 S.F.
REMAINING REQUIRED	57,178 S.F.

OVERALL CENTER PARKING REQUIREMENTS	
MEDICAL OFFICE	3,459 S.F. 18
SHOPPING CENTER/RETAIL	240,738 S.F. 696
RESTAURANT	25,028 S.F. 251
TOTAL REQUIRED 965	
TOTAL PROVIDED 1,351	
CCOMPACT PROVIDED 20 (1.5%)	

OVERALL CENTER ACCESSIBLE PARKING REQUIREMENTS	
TOTAL REQUIRED:	27
TOTAL PROVIDED:	51
VAN ACCESSIBLE REQUIRED:	9
VAN ACCESSIBLE PROVIDED:	16

INTERIOR PARKING LOT GREENSPACE

PHASE II FINAL DEVELOPMENT PLAN APPROXIMATELY 9.96 ACRES

PAD D FINAL DEVELOPMENT PLAN APPROXIMATELY 1.77 ACRES

PAD H FINAL DEVELOPMENT PLAN APPROXIMATELY 1.27 ACRES

PROPOSED ADDRESSING			
JR ANCHOR A1	2505 MARKET STREET N.E.	ANCHOR C1	2675 MARKET STREET N.E.
ANCHOR A1	2525 MARKET STREET N.E.	BLDG D1	2775 MARKET STREET N.E.
BLDG A1	2545 MARKET STREET N.E.	BLDG D2	2765 MARKET STREET N.E.
BLDG A2	2575 MARKET STREET N.E.	BLDG D3	2755 MARKET STREET N.E.
BLDG A3	2585 MARKET STREET N.E.	BLDG D4	2745 MARKET STREET N.E.
ANCHOR B1	2625 MARKET STREET N.E.	BLDG D5	2735 MARKET STREET N.E.
BLDG B1	2635 MARKET STREET N.E.	BLDG D6	2725 MARKET STREET N.E.
BLDG B2	2645 MARKET STREET N.E.	BLDG D7	2715 MARKET STREET N.E.
JR ANCHOR B1	2655 MARKET STREET N.E.	BLDG E1	2695 MARKET STREET N.E.
JR ANCHOR C1	2665 MARKET STREET N.E.	BLDG F1	2685 MARKET STREET N.E.

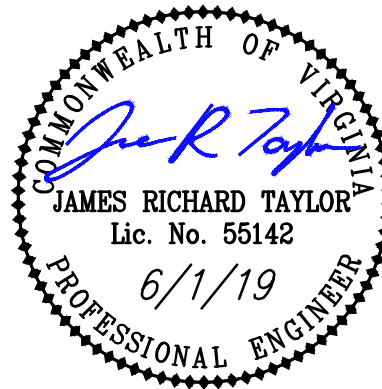
PROPOSED INTERSECTION IMPROVEMENTS SEE DESIGN PLANS BY KIMLEY-HORN "FRANKLIN STREET IMPROVEMENTS AT CHRISTIANBURG MALL REDEVELOPMENT"

SCALE: 1" = 60'



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg
www.balzer.cc
80 College Street
Suite H
Christiansburg, VA 24073
540.381.4290



MARKET PLACE REDEVELOPMENT
PHASE II
MASTER PLAN

DRAWN BY JRT
DESIGNED BY JRT
CHECKED BY SMS
DATE 5/1/19
SCALE 1" = 60'
REVISIONS
6/1/19

APPROVED: Engineering Date
APPROVED: Planning Date

LAYOUT PLAN NOTES

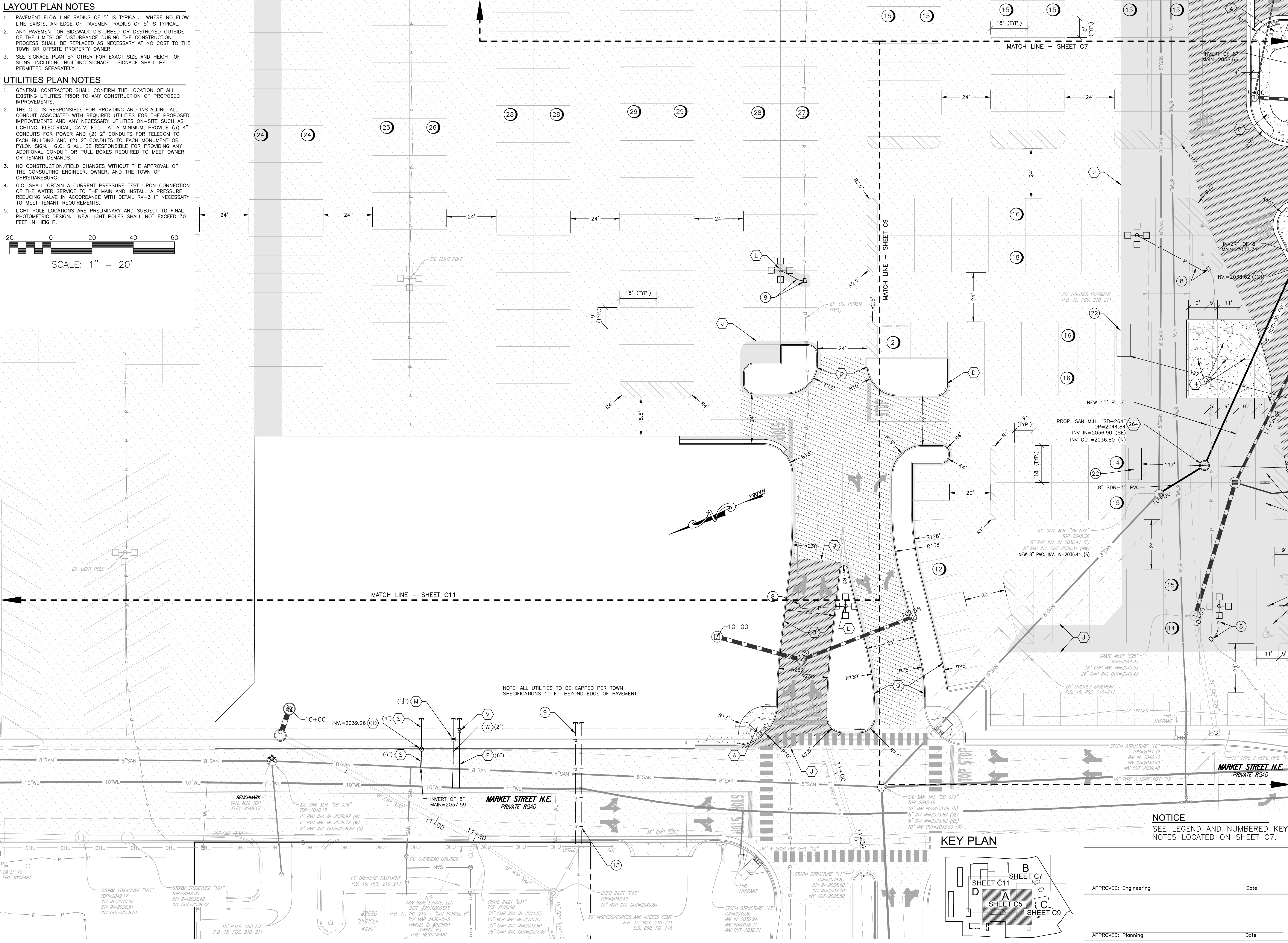
1. PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL. WHERE NO FLOW LINE EXISTS, AN EDGE OF PAVEMENT RADIUS OF 5' IS TYPICAL.
2. ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
3. SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.

UTILITIES PLAN NOTES

1. GENERAL CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED IMPROVEMENTS AND ANY NECESSARY UTILITIES ON-SITE, SUCH AS LIGHTING, ELECTRICAL, CATV, ETC. AT A MINIMUM, PROVIDE (3) 4" CONDUITS FOR POWER AND (2) 2" CONDUITS FOR TELECOM TO EACH BUILDING AND (2) 2" CONDUITS TO EACH MONUMENT OR PYLON SIGN. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL CONDUIT OR PULL BOXES REQUIRED TO MEET OWNER OR TENANT DEMANDS.
3. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANSBURG.
4. G.C. SHALL OBTAIN A CURRENT PRESSURE TEST UPON CONNECTION OF THE WATER SERVICE TO THE MAIN AND INSTALL A PRESSURE REDUCING VALVE IN ACCORDANCE WITH DETAIL RV-3 IF NECESSARY TO MEET TENANT REQUIREMENTS.
5. LIGHT POLE LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL PHOTOMETRIC DESIGN. NEW LIGHT POLES SHALL NOT EXCEED 30 FEET IN HEIGHT.



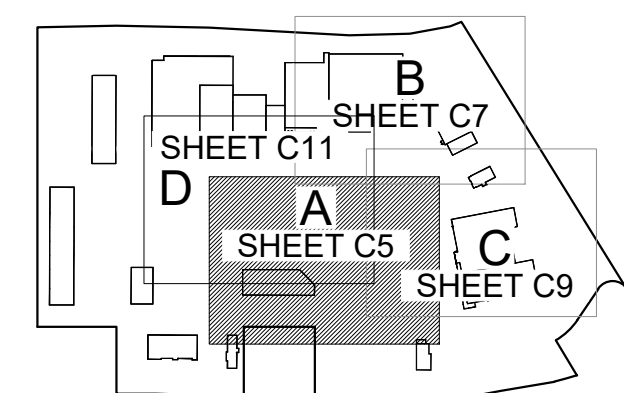
SCALE: 1" = 20'



NOTE: ALL UTILITIES TO BE CAPPED PER TOWN SPECIFICATIONS 10 FT. BEYOND EDGE OF PAVEMENT.

NOTICE
SEE LEGEND AND NUMBERED KEY NOTES LOCATED ON SHEET C7.

KEY PLAN



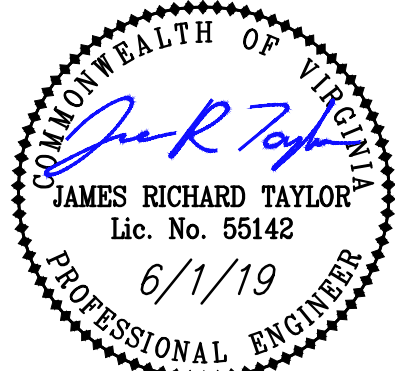
APPROVED: Engineering	Date
APPROVED: Planning	Date

MARKET PLACE REDEVELOPMENT PHASE II LAYOUT AND UTILITIES PLAN AREA A

DRAWN BY: JRT
DESIGNED BY: JRT
CHECKED BY: SMS
DATE: 5/1/19
SCALE: 1" = 20'
REVISIONS:
6/1/19



Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg
www.balzer.cc
80 College Street
Suite H
Christiansburg, VA 24073
540.381.4290

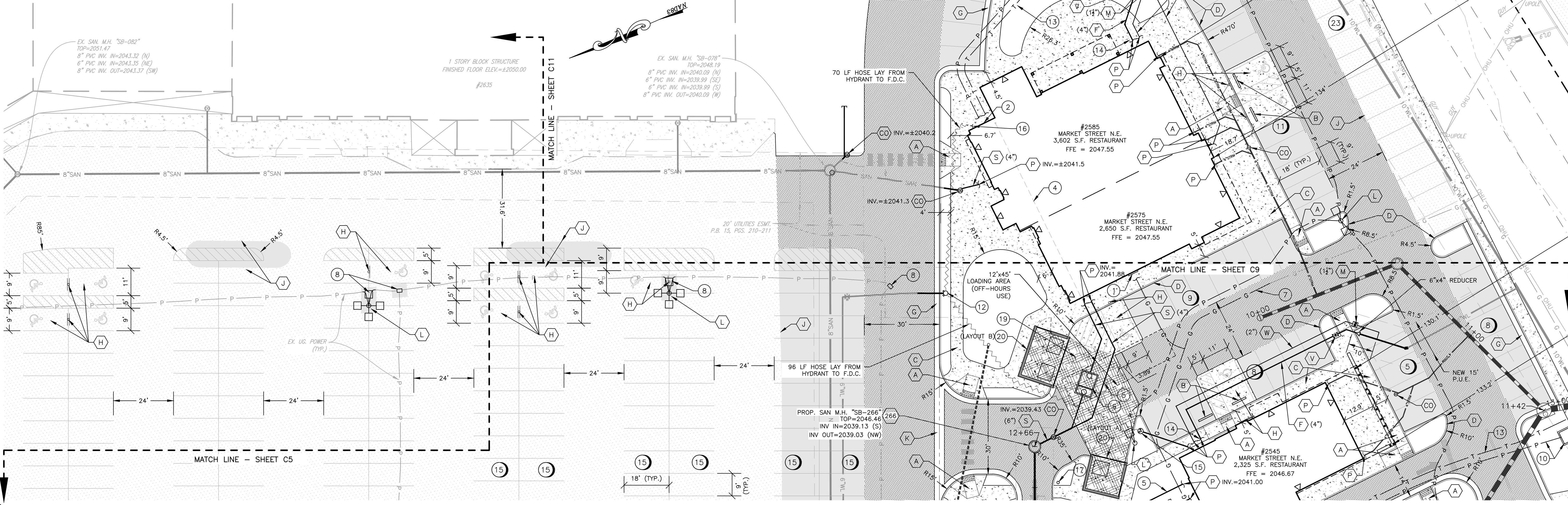
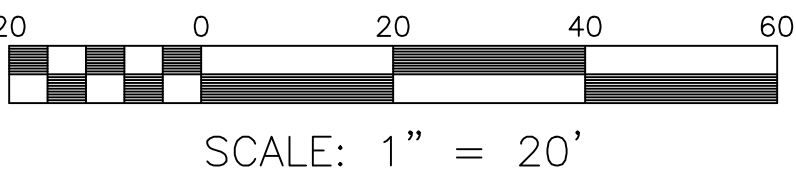


SHAMSVILLE MAGISTERIAL DISTRICT
TOWN OF CHRISTIANSBURG, VIRGINIA

- KEY NOTES**
1. GAS METER OR GAS METER MANIFOLD (PROVIDE 1 METER PER TENANT SPACE). CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ATMOS ENERGY REGARDING THE SIZE AND INSTALLATION OF THE GAS SERVICE LINES AND METERS IN ACCORDANCE WITH TENANT REQUIREMENTS.
 2. ELECTRIC METER OR METER CENTER (PROVIDE 1 METER PER TENANT SPACE).
 3. NOT USED
 4. 4" GREASE WASTE LINE. WHERE LATERAL SERVES MULTIPLE TENANT SPACES, EXTEND PIPING UNDER SLAB WITH A MINIMUM DEPTH OF 30" BELOW FINISHED FLOOR AT EACH TENANT SPACE.
 5. 4" NON-GREASE WASTE LINE. WHERE LATERAL SERVES MULTIPLE TENANT SPACES, EXTEND PIPING UNDER SLAB WITH A MINIMUM DEPTH OF 30" BELOW FINISHED FLOOR AT EACH TENANT SPACE.
 6. 1,500 GALLON GREASE INTERCEPTOR. GREASE INTERCEPTOR AND MANHOLE COVERS SHALL BE H-20 TRAFFIC RATED.
 7. GAS SERVICE LINE. CONTRACTOR SHALL CONFIRM FINAL LOCATION OF CONNECTION TO MAIN AND COORDINATE INSTALLATION WITH ATMOS ENERGY.
 8. INSTALL PVC CONDUIT AS NECESSARY FOR ELECTRICAL SERVICE TO SITE LIGHTING. INSTALL TRAFFIC RATED ELECTRICAL PULL BOXES AS NECESSARY.
 9. INSTALL PVC CONDUIT AS NECESSARY FOR ELECTRIC SERVICE. APPROXIMATE LOCATION OF SERVICE LINE. G.C. SHALL CONFIRM FINAL LOCATION WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF SITE WORK.
 10. APPROXIMATE LOCATION OF TRANSFORMER AND ELECTRIC SERVICE LINE. CONTRACTOR SHALL CONFIRM FINAL LOCATION AND SIZE OF TRANSFORMER AND SERVICE LINE PRIOR TO COMMENCEMENT OF WORK.
 11. RELOCATED SERVICE PANEL FOR PARKING LOT LIGHTING. COORDINATE INSTALLATION WITH AEP.
 12. RELOCATED FIRE HYDRANT ASSEMBLY.
 13. INSTALL PVC CONDUIT AS NECESSARY FOR TELECOM. APPROXIMATE LOCATION OF SERVICE LINE. G.C. SHALL CONFIRM FINAL LOCATION WITH TELECOM PROVIDER PRIOR TO COMMENCEMENT OF SITE WORK.
 14. PROVIDE REDUCER IF NECESSARY TO CONNECT TO BUILDING FIRE SPRINKLER LINE SIZE. BACKFLOW PREVENTER DEVICE REQUIRED.
 15. FREE-STANDING YARD FIRE DEPARTMENT CONNECTION. CONNECT TO BUILDING SPRINKLER SYSTEM.
 16. BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
 17. DRIVE THRU CLEARANCE BAR BY TENANT. PROVIDE FOUNDATION AND CONDUIT TO LOCATION. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT.
 18. DRIVE THRU ORDER BOARD BY TENANT. PROVIDE FOUNDATION AND CONDUIT TO LOCATION. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT.
 19. DUMPSTER ENCLOSURE CONCRETE SHALL BE 6" THICK REINFORCED CONCRETE.
 20. MASONRY DUMPSTER ENCLOSURE W/ METAL GATES AND PEDESTRIAN ACCESS. SEE DETAILS.
 21. NOT USED
 22. INSTALL CART CORRAL AND PERMANENTLY ANCHOR TO GROUND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. RTS COMPANIES PART NUMBER 4031-00500A-XX-00 COLOR RED OR EQUAL APPROVED BY TENANT.
 23. INSTALL BIKE RACK AND PERMANENTLY ANCHOR TO GROUND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ULINE PART NUMBER H-2544BL 5-LOOP WAVE STYLE BIKE RACK OR EQUAL APPROVED BY TENANT.
 24. EXPECTANT MOTHER/NEW FAMILY PARKING. TENANT TO PROVIDE SIGNS. CONTRACTOR TO PROVIDE AND INSTALL BASE.

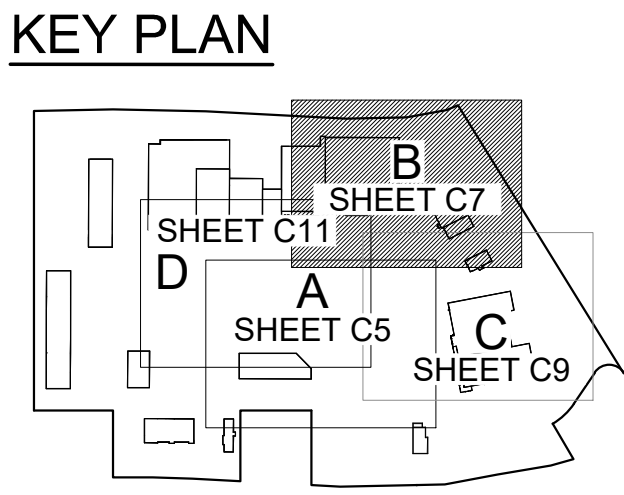
- LAYOUT PLAN NOTES**
1. PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL. WHERE NO FLOW LINE EXISTS, AN EDGE OF PAVEMENT RADIUS OF 5' IS TYPICAL.
 2. ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
 3. SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.
- UTILITIES PLAN NOTES**
1. GENERAL CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 2. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED IMPROVEMENTS AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, CATV, ETC. AT A MINIMUM, PROVIDE (3) 4" CONDUITS FOR POWER AND (2) 2" CONDUITS FOR TELECOM TO EACH BUILDING AND (2) 2" CONDUITS TO EACH MONUMENT OR PYLON SIGN. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL CONDUIT OR PULL BOXES REQUIRED TO MEET OWNER OR TENANT DEMANDS.
 3. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANSBURG.
 4. G.C. SHALL OBTAIN A CURRENT PRESSURE TEST UPON CONNECTION OF THE WATER SERVICE TO THE MAIN AND INSTALL A PRESSURE REDUCING VALVE IN ACCORDANCE WITH DETAIL RV-3 IF NECESSARY TO MEET TENANT REQUIREMENTS.
 5. LIGHT POLE LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL PHOTOMETRIC DESIGN. NEW LIGHT POLES SHALL NOT EXCEED 30 FEET IN HEIGHT.

- LEGEND**
- | | |
|--|----------------------------------|
| (A) CG-12 CURB RAMP | (S) STANDARD DUTY ASPHALT PAVING |
| (B) PARKING BUMPER BLOCK | (T) HEAVY DUTY ASPHALT PAVING |
| (C) CONCRETE SIDEWALK | (U) PAVEMENT MILL & OVERLAY |
| (D) 8' WIDE U.N.G. CLEANOUT | (V) CONCRETE SIDEWALK |
| (E) CG-2 CURB | (W) HEAVY DUTY CONCRETE PAVING |
| (F) DUMPSTER ENCLOSURE | (X) THICKNESS AS NOTED |
| (G) FIRE SERVICE LATERAL | |
| (H) SIZE AS NOTED | |
| (I) TOWN OF CHRISTIANSBURG | |
| (J) UTILITY CONTRACTOR | |
| (K) EXISTING | |
| (L) CG-6 CURB AND GUTTER | |
| (M) HANDICAP PARKING & SIGN | |
| (N) PAVEMENT JOINT | |
| (O) CONCRETE APRON | |
| (P) LIGHT POLE (EXISTING POLE & FIXTURE RELOCATED) | |
| (Q) WATER METER | |
| (R) SIZE AS NOTED | |
| (S) TOWN OF CHRISTIANSBURG | |
| (T) UTILITY CONTRACTOR | |
| (U) EXISTING | |
| (V) CG-9D ENTRANCE APRON | |
| (W) BACKFLOW PREVENTER IN MANHOLE | |
| (X) SIZE AS NOTED | |
| (Y) CONNECTION BY PLUMBER | |
| (Z) FIRE HYDRANT ASSEMBLY | |
| (AA) SEGMENTAL BLOCK RETAINING WALL | |
| (AB) DESIGN BY OTHERS (PROVIDE RAILING PER CODE) | |
| (AC) SEWER LATERAL | |
| (AD) SIZE AS NOTED | |
| (AE) TOWN OF CHRISTIANSBURG | |
| (AF) UTILITY CONTRACTOR | |
| (AG) EXISTING | |
| (AH) WATERLINE BLOWOFF ASSEMBLY | |
| (AI) POST INDICATOR VALVE | |
| (AJ) WATER LATERAL | |
| (AK) SIZE AS NOTED | |
| (AL) TOWN OF CHRISTIANSBURG | |
| (AM) UTILITY CONTRACTOR | |
| (AN) EXISTING | |
- NOTE:**
ALL WATER AND SEWER APPURTENANCES NOTED IN THE LEGEND SHALL BE INSTALLED PER TOWN SPECIFICATIONS USING PREFERRED PRODUCTS.



APPROVED: Engineering _____ Date _____

APPROVED: Planning _____ Date _____



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg

www.balzer.cc

80 College Street
Suite H
Christiansburg, VA 24073
540.381.4290

JAMES RICHARD TAYLOR
Lic. No. 55142
6/1/19
PROFESSIONAL ENGINEER

**MARKET PLACE REDEVELOPMENT
PHASE II
LAYOUT & UTILITIES PLAN
AREA B**

DRAWN BY: JRT
DESIGNED BY: JRT
CHECKED BY: SMS
DATE: 5/1/19
SCALE: 1" = 20'
REVISIONS: 6/1/19