

**STANDARD SITE PLAN NOTES**

- GENERAL CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF WYTHEVILLE.
- G.C. TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- G.C SHALL OBTAIN A RIGHT OF WAY PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE VDOT RIGHT OF WAY.
- ANY PAVEMENT DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL.
- ASPHALT SURFACES SHALL HAVE A MINIMUM SLOPE OF 2% AND CONCRETE SURFACES SHALL HAVE A MINIMUM SLOPE OF 1%.
- LIGHT POLE LOCATIONS ARE PRELIMINARY. ALL PROPOSED LIGHT POLE LOCATIONS AND PHOTOMETRICS TO BE VERIFIED BY AN ELECTRICIAN/CONTRACTOR PRIOR TO INSTALLATION.

MATCHLINE A

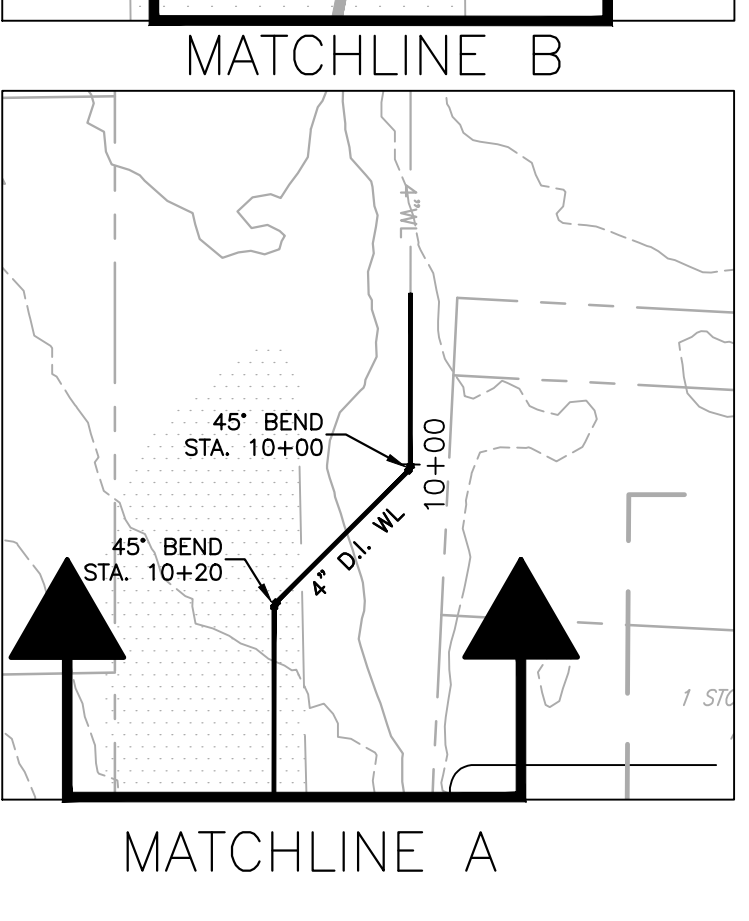
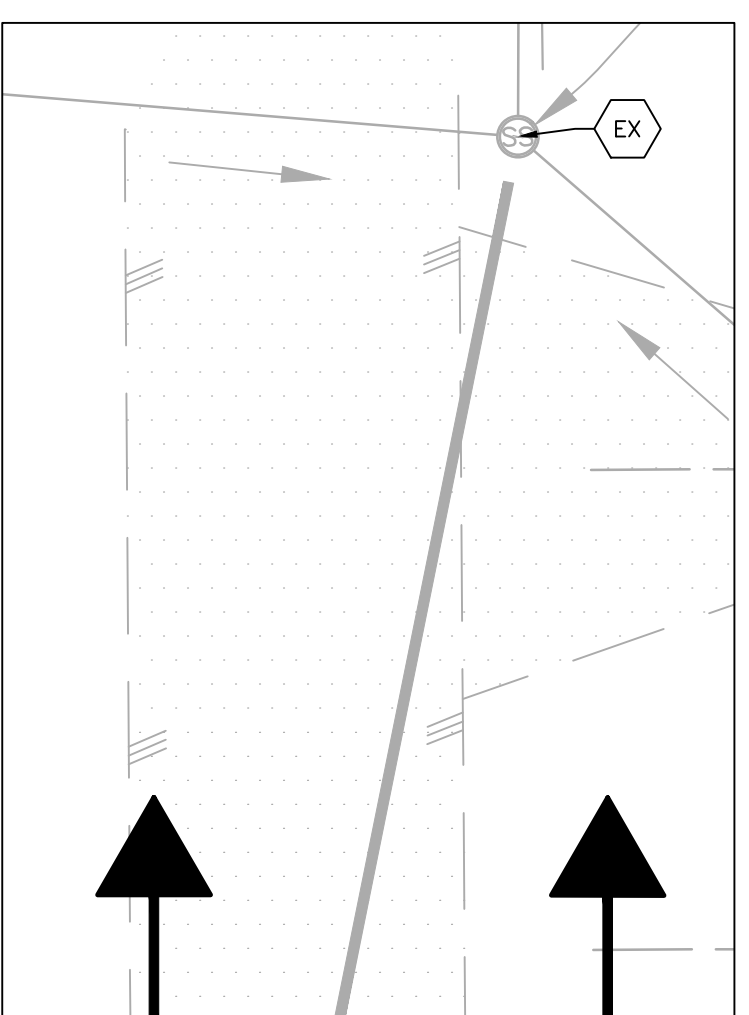
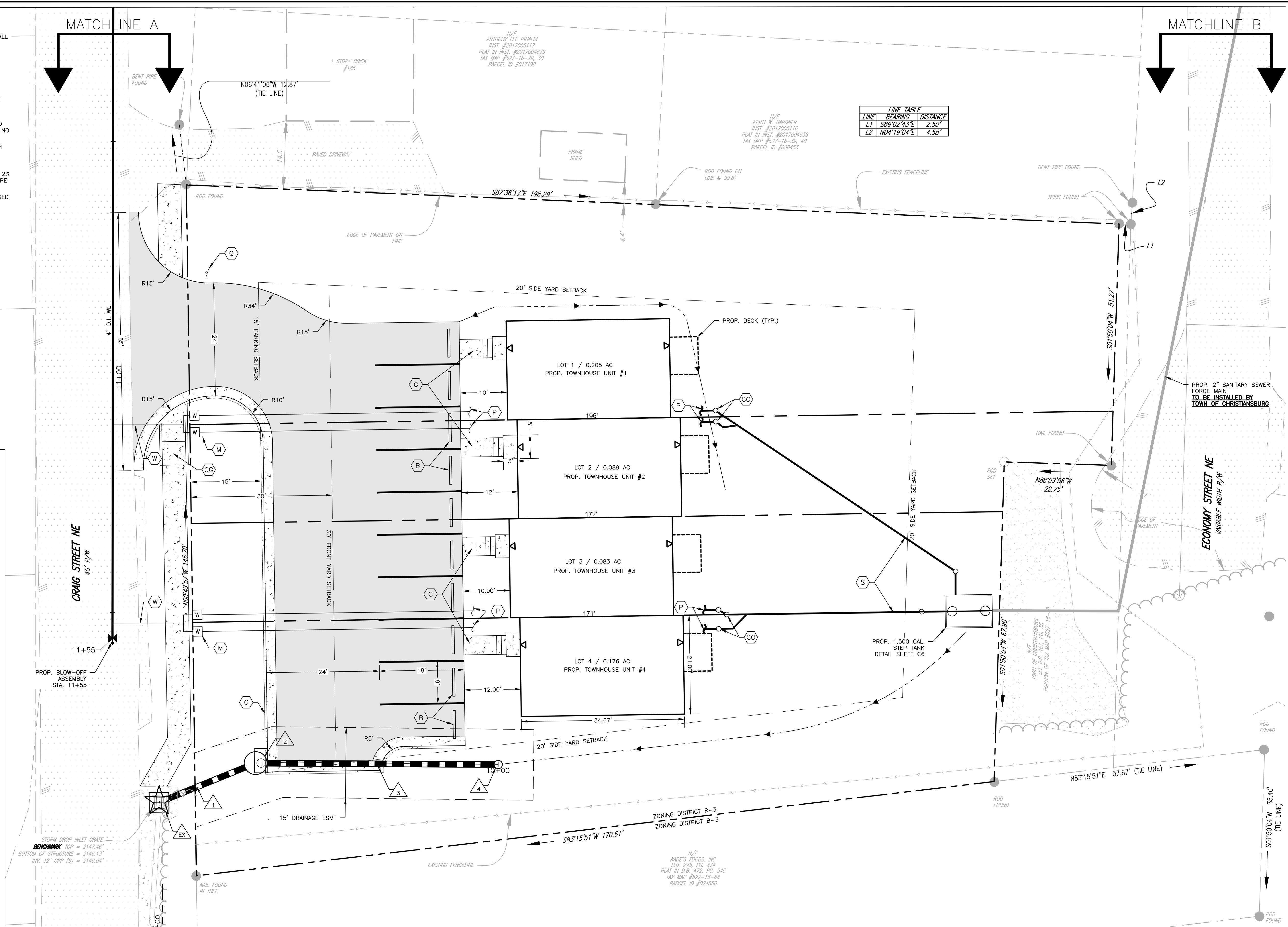
MATCHLINE B

LINE	BEARING	DISTANCE
L1	S89°02'43"E	2.50'
L2	N04°19'04"E	4.58'

N/F ANTHONY LEE RINALDI  
INST. #2017005117  
PLAT IN INST. #2017004639  
TAX MAP #527-16-39, 40  
PARCEL ID #017199

N/F KETH W. GARDNER  
INST. #2017005116  
PLAT IN INST. #2017004639  
TAX MAP #527-16-39, 40  
PARCEL ID #030453

N/F WADE'S FOODS, INC.  
D.B. 275, PG. 874  
PLAT IN D.B. 472, PG. 545  
TAX MAP #527-16-39  
PARCEL ID #024850



- LEGEND**
- (B) PARKING BUMPER BLOCK
  - (C) CONCRETE WALK
  - (CO) CLEAN OUT 6" U.N.O.
  - (CG) CG-12 CURB RAMP
  - (G) CG-6 CURB AND GUTTER
  - (H) HANDICAP PARKING & SIGN
  - (P) CONNECTION BY PLUMBER
  - (Q) VDOT R1-1 STOP SIGN
  - (V) PAVEMENT JOINT
  - (S) SEWER LATERAL (6")
  - (X) UTILITY CONTRACTOR EXISTING
  - (M) WATER METER (1.5")
  - (W) WATER LATERAL (2")
  - (X) TOWN OF CHRISTIANBURG UTILITY CONTRACTOR EXISTING
  - (S) STANDARD DUTY ASPHALT PAVING
  - (C) CONCRETE SIDEWALK

**PAVEMENT MARKING NOTES:**

- STANDARD PARKING STRIPING: SURFACES SHOULD BE CLEAN AND DRY STRIPING SHALL BE 4" WIDE, COLOR WHITE



TOWN OF CHRISTIANBURG APPROVAL BLOCK

PLANNING DIRECTOR	DATE
ENGINEERING DIRECTOR	DATE



**BALZER & ASSOCIATES**  
PLANNERS / ARCHITECTS  
ENGINEERS / SURVEYORS

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New River Valley / Staunton  
Harrisonburg / Lynchburg  
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448 Peppers Ferry Road, NW  
Christiansburg, VA 24073  
540.381.4290



**CHARTERHOUSE - CRAIG STREET TOWNHOMES**

**LAYOUT & UTILITY PLAN**

DRAWN BY: KRO  
DESIGNED BY: SMS  
CHECKED BY: SMS  
DATE: 09/03/2019  
SCALE: 1" = 10'  
REVISIONS: