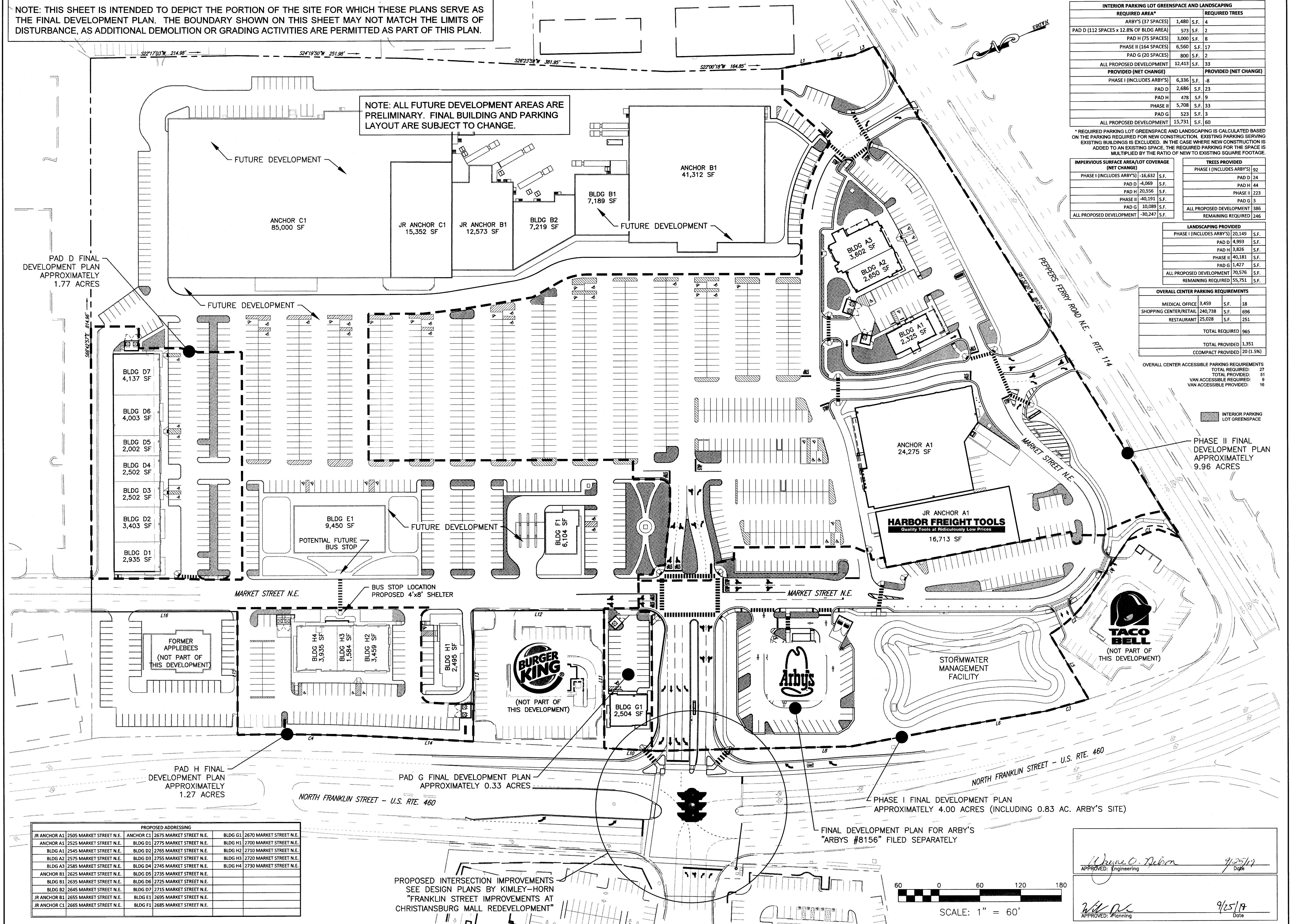


## MARKET PLACE REDEVELOPMENT PHASE II MASTER PLAN

SHAWNEE MAGISTERIAL DISTRICT  
TOWN OF CHRISTIANSBURG, VIRGINIA

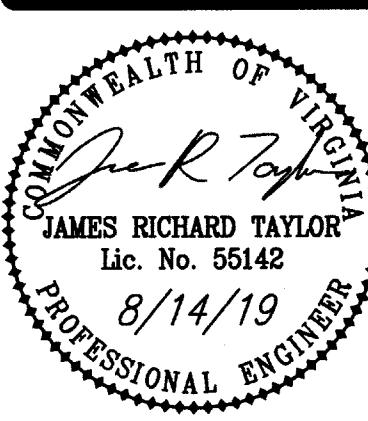
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DESIGNED BY  
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CHECKED BY  
SMS  
DATE  
5/1/19  
SCALE  
1" = 60'  
REVISIONS  
6/1/19  
8/14/19





**BALZER & ASSOCIATES**  
PLANNERS / ARCHITECTS  
ENGINEERS / SURVEYORS

Roanoke / Richmond  
New River Valley / Staunton  
Harrisonburg / Lynchburg  
[www.balzer.cc](http://www.balzer.cc)  
80 College Street  
Suite H  
Christiansburg, VA 24073  
540.381.4290



JAMES RICHARD TAYLOR  
Lic. No. 55142  
PROFESSIONAL ENGINEER

8/14/19

## MARKET PLACE REDEVELOPMENT

### PHASE II

### LAYOUT AND UTILITIES PLAN

SHAWNEE MASS TERRITORY DISTRICT  
TOWN OF CHRISTIANSBURG, VIRGINIA

DRAWN BY: JRT  
DESIGNED BY: JRT  
CHECKED BY: SMS  
DATE: 5/1/19  
SCALE: 1" = 20'  
REVISIONS: 6/1/19  
8/14/19

**C5**

PROJECT NO. 24190024.00

### LAYOUT PLAN NOTES

- PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL. WHERE NO FLOW LINE EXISTS, AN EDGE OF PAVEMENT RADIUS OF 5' IS TYPICAL.
- ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPAVED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
- SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.

### UTILITIES PLAN NOTES

- GENERAL CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED IMPROVEMENTS AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, CATV, ETC. AT A MINIMUM, PROVIDE (3) 4" CONDUITS FOR POWER AND (2) 2" CONDUITS FOR TELECOM TO EACH BUILDING AND (2) 2" CONDUITS TO EACH MONUMENT OR PYLON SIGN. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL CONDUIT OR PULL BOXES REQUIRED TO MEET OWNER OR TENANT DEMANDS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANSBURG.
- G.C. SHALL OBTAIN A CURRENT PRESSURE TEST UPON CONNECTION TO THE MAIN AND INSTALL A PRESSURE REDUCING VALVE IN ACCORDANCE WITH DETAIL RV-3 IF NECESSARY TO MEET TENANT REQUIREMENTS.
- LIGHT POLE LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL PHOTOMETRIC DESIGN. NEW LIGHT POLES SHALL NOT EXCEED 30 FEET IN HEIGHT.

SCALE: 1" = 20'

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**KEY NOTES**

- 1 GAS METER OR GAS METER MANIFOLD (PROVIDE 1 METER PER TENANT SPACE). CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ATOMS ENERGY REGARDING THE SIZE AND INSTALLATION OF THE GAS SERVICE LINES AND METERS IN ACCORDANCE WITH TENANT REQUIREMENTS.
- 2 ELECTRIC METER OR METER CENTER (PROVIDE 1 METER PER TENANT SPACE).
- 3 NOT USED
- 4 4" GREASE WASTE LINE. WHERE LATERAL SERVES MULTIPLE TENANT SPACES, EXTEND PIPING UNDER SLAB WITH A MINIMUM DEPTH OF 30" BELOW FINISHED FLOOR AT EACH TENANT SPACE.
- 5 4" NON-GREASE WASTE LINE. WHERE LATERAL SERVES MULTIPLE TENANT SPACES, EXTEND PIPING UNDER SLAB WITH A MINIMUM DEPTH OF 30" BELOW FINISHED FLOOR AT EACH TENANT SPACE.
- 6 1,500 GALLON GREASE INTERCEPTOR. GREASE INTERCEPTOR AND MANHOLE COVERS SHALL BE H-20 TRAFFIC RATED.
- 7 GAS SERVICE LINE. CONTRACTOR SHALL CONFIRM FINAL LOCATION OF CONNECTION TO MAIN AND COORDINATE INSTALLATION WITH ATOMS ENERGY.
- 8 INSTALL PVC CONDUIT AS NECESSARY FOR ELECTRICAL SERVICE TO SITE LIGHTING.
- 9 INSTALL TRAFFIC RATED ELECTRICAL PULL BOXES AS NECESSARY.
- 10 INSTALL PVC CONDUIT AS NECESSARY FOR ELECTRIC SERVICE. APPROXIMATE LOCATION OF SERVICE LINE. G.C. SHALL CONFIRM FINAL LOCATION WITH SERVICE PROVIDER PRIOR TO COMMENCEMENT OF SITE WORK.
- 11 APPROXIMATE LOCATION OF TRANSFORMER AND ELECTRIC SERVICE LINE. CONTRACTOR SHALL CONFIRM FINAL LOCATION AND SIZE OF TRANSFORMER AND SERVICE LINE PRIOR TO COMMENCEMENT OF WORK.
- 12 RELOCATED SERVICE PANEL FOR PARKING LOT LIGHTING. COORDINATE INSTALLATION WITH AEP.
- 13 RELOCATED FIRE HYDRANT ASSEMBLY.
- 14 INSTALL PVC CONDUIT AS NECESSARY FOR TELECOM. APPROXIMATE LOCATION OF SERVICE LINE. G.C. SHALL CONFIRM FINAL LOCATION WITH TELECOM PROVIDER PRIOR TO COMMENCEMENT OF SITE WORK.
- 15 PROVIDE REDUCER IF NECESSARY TO CONNECT TO BUILDING FIRE SPRINKLER LINE SIZE. BACKFLOW PREVENTER DEVICE REQUIRED.
- 16 FREE-STANDING YARD FIRE DEPARTMENT CONNECTION. CONNECT TO BUILDING SPRINKLER SYSTEM.
- 17 BUILDING MOUNTED FIRE DEPARTMENT CONNECTION.
- 18 DRIVE THRU CLEARANCE BAR BY TENANT. PROVIDE FOUNDATION AND CONDUIT TO LOCATION. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT.
- 19 DRIVE THRU ORDER BOARD BY TENANT. PROVIDE FOUNDATION AND CONDUIT TO LOCATION. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT.
- 20 DUMPSTER ENCLOSURE CONCRETE SHALL BE 6" THICK REINFORCED CONCRETE.
- 21 MASONRY DUMPSTER ENCLOSURE W/ METAL GATES AND PEDESTRIAN ACCESS. SEE DETAILS.
- 22 NOT USED
- 23 INSTALL CART CORRAL AND PERMANENTLY ANCHOR TO GROUND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. RTS COMPANIES PART NUMBER 4031-00500A-XX-00 COLOR RED OR EQUAL APPROVED BY TENANT.
- 24 INSTALL BIKE RACK AND PERMANENTLY ANCHOR TO GROUND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ULINE PART NUMBER H-2544BL 5-LOOP WAVE STYLE BIKE RACK OR EQUAL APPROVED BY TENANT.
- 25 EXPECTANT MOTHER/NEW FAMILY PARKING. TENANT TO PROVIDE SIGNS. CONTRACTOR TO PROVIDE AND INSTALL BASE.

**LAYOUT PLAN NOTES**

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- 2 ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
- 3 SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.

**UTILITIES PLAN NOTES**

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- 2 THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED IMPROVEMENTS AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIQUID METAL CATE. G.C. SHALL PROVIDE (2) 4" CONDUITS FOR POWER AND (2) 2" CONDUITS FOR TELECOM TO EACH BUILDING AND (2) 2" CONDUITS TO EACH MONUMENT OR PYLON SIGN. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL CONDUIT OR PULL BOXES REQUIRED TO MEET OWNER OR TENANT DEMANDS.
- 3 NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANSBURG.
- 4 G.C. SHALL OBTAIN A CURRENT PRESSURE TEST UPON CONNECTION OF THE WATER SERVICE TO THE MAIN AND INSTALL A PRESSURE REDUCING VALVE IN ACCORDANCE WITH DETAIL RV-3 IF NECESSARY TO MEET TENANT REQUIREMENTS.
- 5 LIGHT POLE LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL PHOTOMETRIC DESIGN. NEW LIGHT POLES SHALL NOT EXCEED 30 FEET IN HEIGHT.

**LEGEND**

(A) CG-12 CURB RAMPS	STANDARD DUTY ASPHALT PAVING
(B) PARKING BUMPER BLOCK	HEAVY DUTY ASPHALT PAVING
(C) CONCRETE SIDEWALK	PAVEMENT MILL & OVERLAY
(CO) CLEANOUT	CONCRETE SIDEWALK
(D) CG-2 CURB	HEAVY DUTY CONCRETE PAVING
(E) DUMPSTER ENCLOSURE	THICKNESS AS NOTED
(F) FIRE SERVICE LATERAL	
(G) FIRE SERVICE LATERAL	TOWN OF CHRISTIANSBURG
(H) FIRE SERVICE LATERAL	UTILITY CONTRACTOR
(I) FIRE SERVICE LATERAL	EXISTING
(J) FIRE HYDRANT ASSEMBLY	
(K) FIRE HYDRANT ASSEMBLY	SEGMENTAL BLOCK RETAINING WALL
(L) FIRE HYDRANT ASSEMBLY	(DESIGN BY OTHERS, PROVIDE RAILING PER CODE)
(M) FIRE HYDRANT ASSEMBLY	SEWER LATERAL
(N) FIRE HYDRANT ASSEMBLY	SIZE AS NOTED
(O) FIRE HYDRANT ASSEMBLY	X UTILITY CONTRACTOR
(P) FIRE HYDRANT ASSEMBLY	EXISTING
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