

NOTE: THIS SHEET IS INTENDED TO DEPICT THE PORTION OF THE SITE FOR WHICH THESE PLANS SERVE AS THE FINAL DEVELOPMENT PLAN. THE BOUNDARY SHOWN ON THIS SHEET MAY NOT MATCH THE LIMITS OF DISTURBANCE, AS ADDITIONAL DEMOLITION OR GRADING ACTIVITIES ARE PERMITTED AS PART OF THIS PLAN.

NOTE: ALL FUTURE DEVELOPMENT AREAS ARE PRELIMINARY. FINAL BUILDING AND PARKING LAYOUT ARE SUBJECT TO CHANGE.

INTERIOR PARKING LOT GREENSPACE AND LANDSCAPING			
REQUIRED AREA*		REQUIRED TREES	
ARBY'S (37 SPACES)	1,480 S.F.	4	
PAD D (112 SPACES x 12.8% OF BLDG AREA)	573 S.F.	2	
PAD H (75 SPACES)	3,000 S.F.	8	
PHASE II (164 SPACES)	6,560 S.F.	17	
PAD G (20 SPACES)	800 S.F.	2	
ALL PROPOSED DEVELOPMENT	12,413 S.F.	33	
PROVIDED (NET CHANGE)		PROVIDED (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)	6,336 S.F.	-8	
PAD D	2,686 S.F.	23	
PAD H	478 S.F.	9	
PHASE II	5,708 S.F.	33	
PAD G	523 S.F.	3	
ALL PROPOSED DEVELOPMENT	15,731 S.F.	60	

* REQUIRED PARKING LOT GREENSPACE AND LANDSCAPING IS CALCULATED BASED ON THE PARKING REQUIRED FOR NEW CONSTRUCTION. EXISTING PARKING SERVING EXISTING BUILDINGS IS EXCLUDED. IN THE CASE WHERE NEW CONSTRUCTION IS ADDED TO AN EXISTING SPACE, THE REQUIRED PARKING FOR THE SPACE IS MULTIPLIED BY THE RATIO OF NEW TO EXISTING SQUARE FOOTAGE.

IMPERVIOUS SURFACE AREA/LOT COVERAGE (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)	-16,632 S.F.
PAD D	-4,069 S.F.
PAD H	20,556 S.F.
PHASE II	-40,193 S.F.
PAD G	-10,089 S.F.
ALL PROPOSED DEVELOPMENT	-30,247 S.F.

TREES PROVIDED	
PHASE I (INCLUDES ARBY'S)	92
PAD D	24
PAD H	44
PHASE II	223
PAD G	3
ALL PROPOSED DEVELOPMENT	386
REMAINING REQUIRED	246

LANDSCAPING PROVIDED	
PHASE I (INCLUDES ARBY'S)	20,149 S.F.
PAD D	4,993 S.F.
PAD H	3,826 S.F.
PHASE II	40,181 S.F.
PAD G	1,427 S.F.
ALL PROPOSED DEVELOPMENT	70,576 S.F.
REMAINING REQUIRED	55,751 S.F.

OVERALL CENTER PARKING REQUIREMENTS			
MEDICAL OFFICE	3,459	S.F.	18
SHOPPING CENTER/RETAIL	240,738	S.F.	696
RESTAURANT	25,028	S.F.	251
TOTAL REQUIRED		965	
TOTAL PROVIDED		1,351	
CCOMPACT PROVIDED		20 (1.5%)	

OVERALL CENTER ACCESSIBLE PARKING REQUIREMENTS			
TOTAL REQUIRED	27		
TOTAL PROVIDED	91		
VAN ACCESSIBLE REQUIRED	9		
VAN ACCESSIBLE PROVIDED	16		

INTERIOR PARKING LOT GREENSPACE

PHASE II FINAL DEVELOPMENT PLAN APPROXIMATELY 9.96 ACRES

PAD D FINAL DEVELOPMENT PLAN APPROXIMATELY 1.77 ACRES

PAD H FINAL DEVELOPMENT PLAN APPROXIMATELY 1.27 ACRES

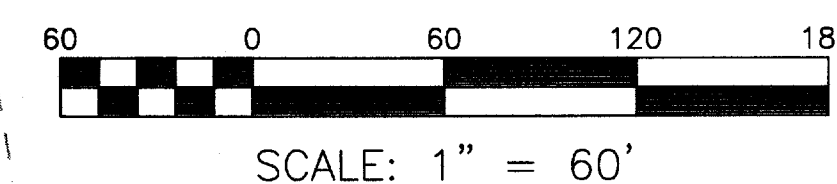
PAD G FINAL DEVELOPMENT PLAN APPROXIMATELY 0.33 ACRES

PHASE I FINAL DEVELOPMENT PLAN APPROXIMATELY 4.00 ACRES (INCLUDING 0.83 AC. ARBY'S SITE)

FINAL DEVELOPMENT PLAN FOR ARBY'S "ARBY'S #8156" FILED SEPARATELY

PROPOSED ADDRESSING			
JR ANCHOR A1	2505 MARKET STREET N.E.	ANCHOR C1	2675 MARKET STREET N.E.
ANCHOR A1	2525 MARKET STREET N.E.	BLDG D1	2775 MARKET STREET N.E.
BLDG A1	2545 MARKET STREET N.E.	BLDG D2	2795 MARKET STREET N.E.
BLDG A2	2575 MARKET STREET N.E.	BLDG D3	2755 MARKET STREET N.E.
BLDG A3	2585 MARKET STREET N.E.	BLDG D4	2745 MARKET STREET N.E.
ANCHOR B1	2625 MARKET STREET N.E.	BLDG D5	2735 MARKET STREET N.E.
BLDG B1	2635 MARKET STREET N.E.	BLDG D6	2725 MARKET STREET N.E.
BLDG B2	2645 MARKET STREET N.E.	BLDG D7	2715 MARKET STREET N.E.
JR ANCHOR B1	2655 MARKET STREET N.E.	BLDG E1	2695 MARKET STREET N.E.
JR ANCHOR C1	2665 MARKET STREET N.E.	BLDG F1	2685 MARKET STREET N.E.
BLDG G1	2670 MARKET STREET N.E.	BLDG H1	2700 MARKET STREET N.E.
BLDG H1	2700 MARKET STREET N.E.	BLDG H2	2710 MARKET STREET N.E.
BLDG H3	2720 MARKET STREET N.E.	BLDG H4	2730 MARKET STREET N.E.

PROPOSED INTERSECTION IMPROVEMENTS SEE DESIGN PLANS BY KIMLEY-HORN "FRANKLIN STREET IMPROVEMENTS AT CHRISTIANSBURG MALL REDEVELOPMENT"

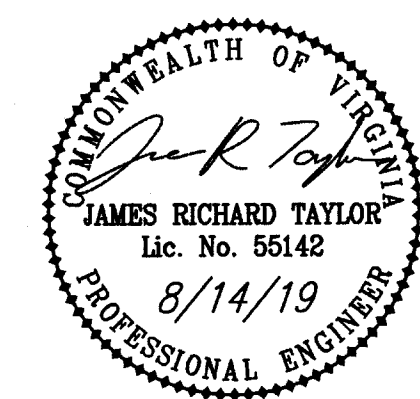


APPROVED: Engineering	9/25/17
APPROVED: Planning	9/25/17



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MARKET PLACE REDEVELOPMENT PHASE II MASTER PLAN

DRAWN BY: JRT
DESIGNED BY: JRT
CHECKED BY: SMS
DATE: 5/1/19
SCALE: 1" = 60'
REVISIONS:
6/1/19
8/14/19

LAYOUT PLAN NOTES

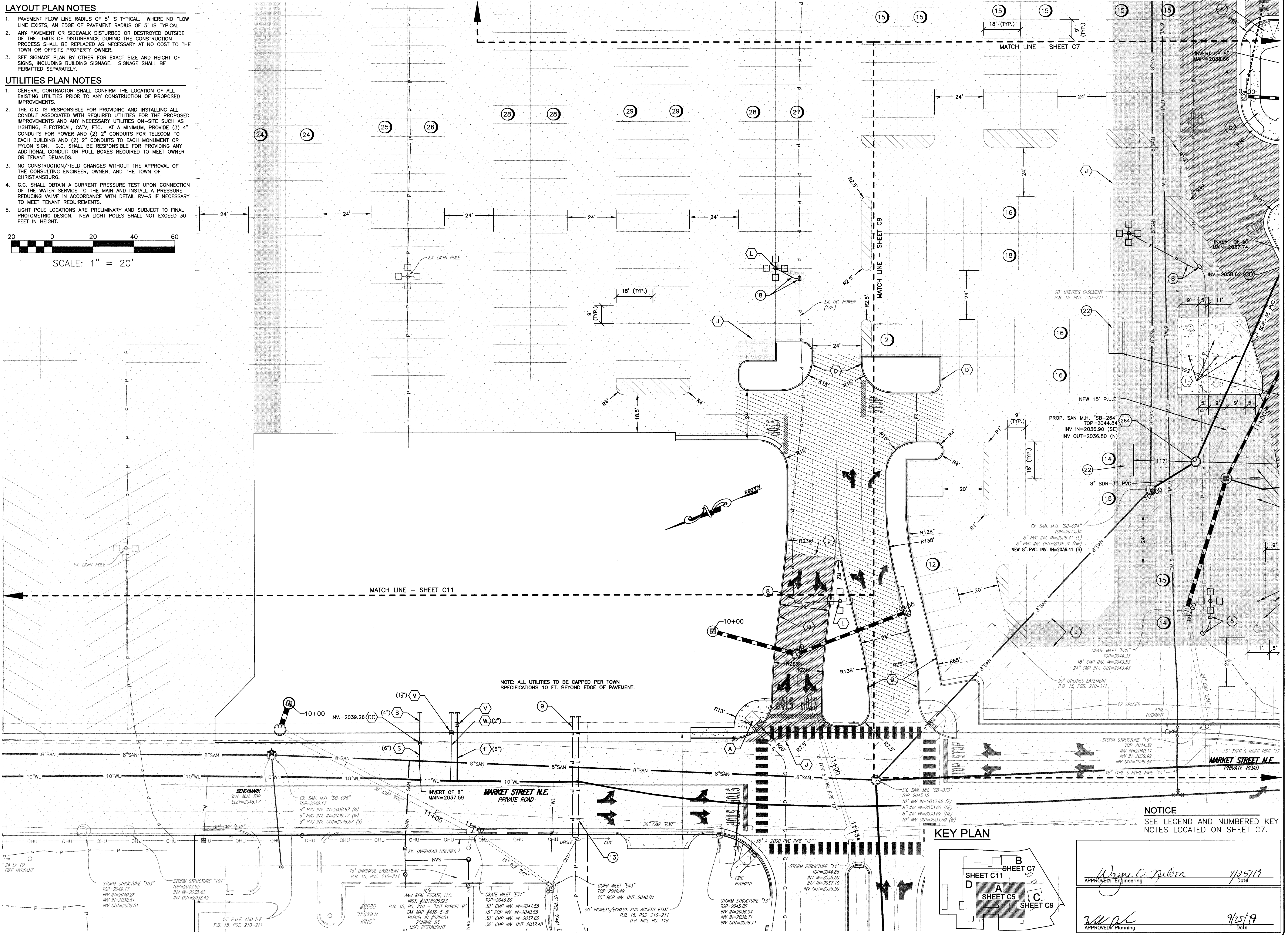
1. PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL. WHERE NO FLOW LINE EXISTS, AN EDGE OF PAVEMENT RADIUS OF 5' IS TYPICAL.
2. ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
3. SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.

UTILITIES PLAN NOTES

1. GENERAL CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. THE G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL CONDUIT ASSOCIATED WITH REQUIRED UTILITIES FOR THE PROPOSED IMPROVEMENTS AND ANY NECESSARY UTILITIES ON-SITE SUCH AS LIGHTING, ELECTRICAL, CATV, ETC. AT A MINIMUM, PROVIDE (3) 4" CONDUITS FOR POWER AND (2) 2" CONDUITS FOR TELECOM TO EACH BUILDING AND (2) 2" CONDUITS TO EACH MONUMENT OR PYLON SIGN. G.C. SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL CONDUIT OR PULL BOXES REQUIRED TO MEET OWNER OR TENANT DEMANDS.
3. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF CHRISTIANBURG.
4. G.C. SHALL OBTAIN A CURRENT PRESSURE TEST UPON CONNECTION OF THE WATER SERVICE TO THE MAIN AND INSTALL A PRESSURE REDUCING VALVE IN ACCORDANCE WITH DETAIL RV-3 IF NECESSARY TO MEET TENANT REQUIREMENTS.
5. LIGHT POLE LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL PHOTOMETRIC DESIGN. NEW LIGHT POLES SHALL NOT EXCEED 30 FEET IN HEIGHT.

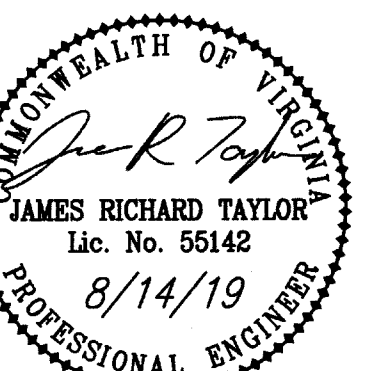
20 0 20 40 60

SCALE: 1" = 20'



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MARKET PLACE REDEVELOPMENT PHASE II LAYOUT AND UTILITIES PLAN AREA A

DRAWN BY JRT
DESIGNED BY JRT
CHECKED BY SMS
DATE 5/1/19
SCALE 1" = 20'
REVISIONS
6/1/19
8/14/19

PROJECT NO 24190024.00

