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**CHARTERHOUSE - CRAIG STREET TOWNHOMES**

**LAYOUT & UTILITY PLAN**

DRAWN BY: KRO  
DESIGNED BY: SMS  
CHECKED BY: SMS  
DATE: 09/03/2019  
SCALE: 1" = 10'  
REVISIONS:  
SUB #2: 10/01/2019  
SUB #3: 11/01/2019

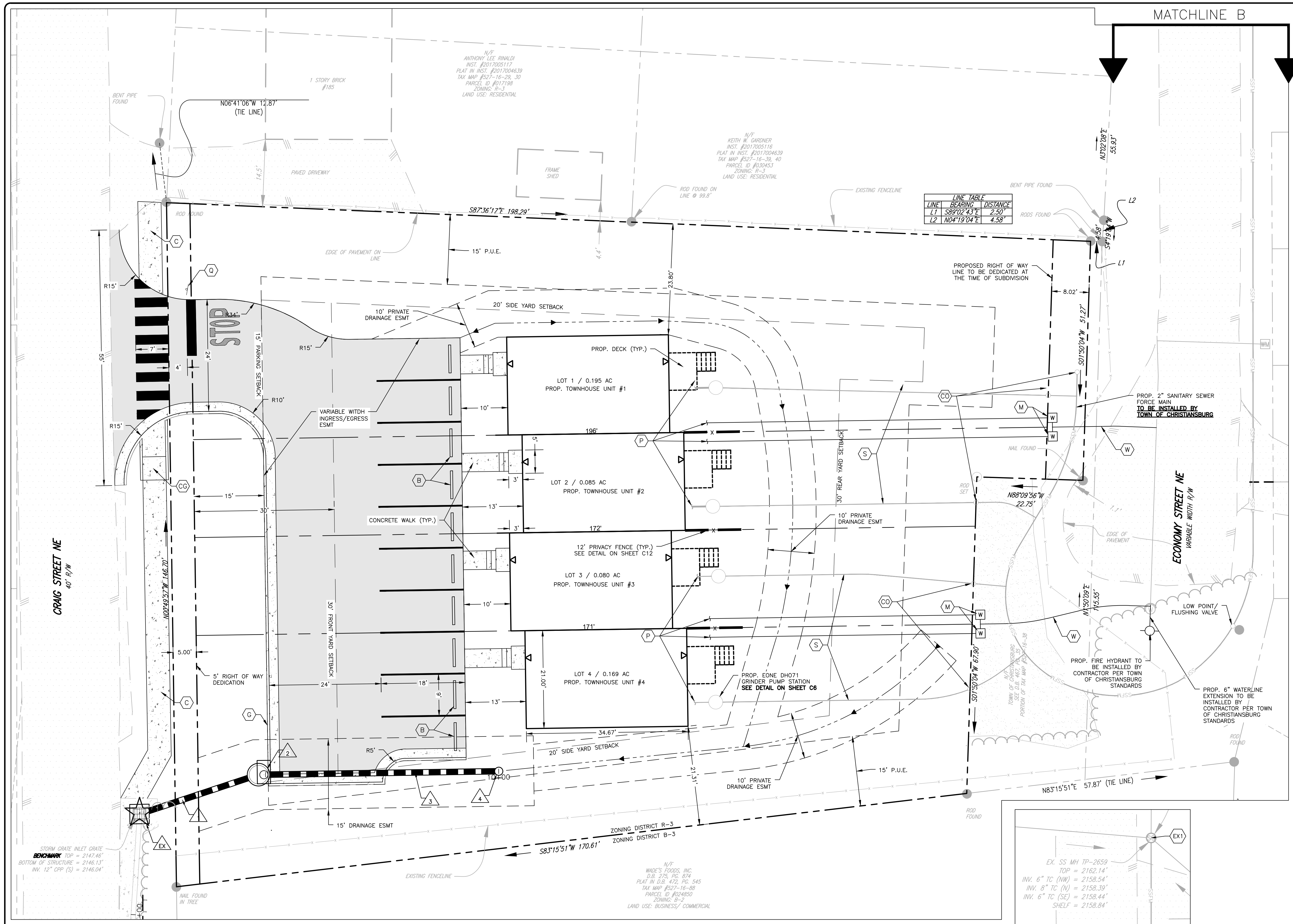
SHANESVILLE DISTRICT  
CHRISTIANSBURG, VIRGINIA

TOWN OF CHRISTIANSBURG APPROVAL BLOCK

PLANNING DIRECTOR	DATE
ENGINEERING DIRECTOR	DATE

**C4**

PROJECT NO: 24190019.00



**STANDARD SITE PLAN NOTES**

- GENERAL CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, OWNER, AND THE TOWN OF WYTHEVILLE.
- G.C. TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- G.C. SHALL OBTAIN A RIGHT OF WAY PERMIT FROM VDOT PRIOR TO ANY WORK WITHIN THE VDOT RIGHT OF WAY.
- ANY PAVEMENT DISTURBED OR DESTROYED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED/REPLACED AS NECESSARY TO PRE-CONSTRUCTION CONDITIONS AT NO COST TO THE OWNER.
- ALL BUILDING DIMENSIONS SHALL BE COORDINATED WITH THE ARCHITECTURAL PLANS.
- PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL.
- ASPHALT SURFACES SHALL HAVE A MINIMUM SLOPE OF 2% AND CONCRETE SURFACES SHALL HAVE A MINIMUM SLOPE OF 1%.
- LIGHT POLE LOCATIONS ARE PRELIMINARY. ALL PROPOSED LIGHT POLE LOCATIONS AND PHOTOMETRICS TO BE VERIFIED BY AN ELECTRICIAN/CONTRACTOR PRIOR TO INSTALLATION.

**LEGEND**

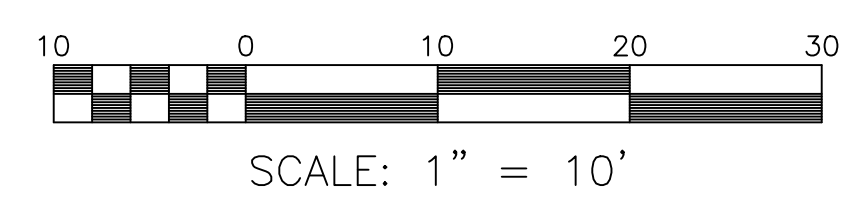
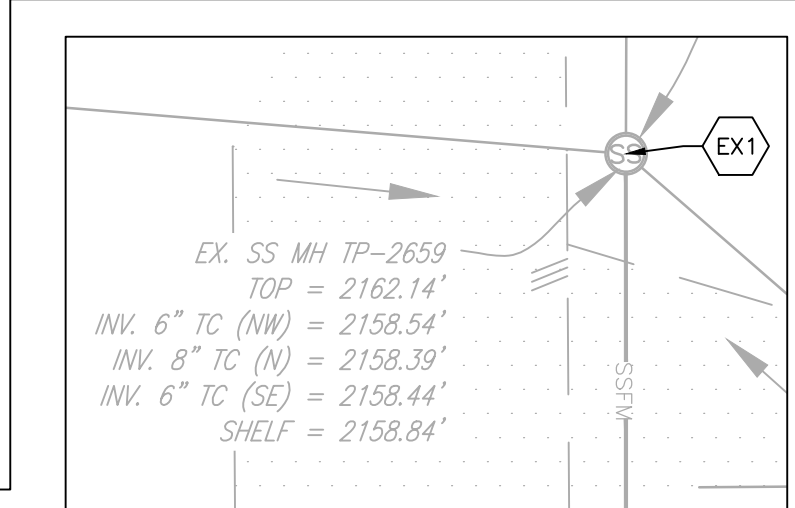
(B) PARKING BUMPER BLOCK	(Q) VDOT R-1-1 STOP SIGN	(S) STANDARD DUTY ASPHALT PAVING
(C) 5' CONCRETE SIDEWALK U.N.O.	(V) PAVEMENT JOINT	(S) CONCRETE SIDEWALK
(CO) CLEAN OUT 6" U.N.O.	(S) SEWER LATERAL (6")	
(CG) CG-12 CURB RAMP	—X— UTILITY CONTRACTOR EXISTING	
(EX) EXISTING SANITARY SEWER MH	(M) WATER METER (1.5')	
(A) EXISTING STORM GRATE INLET	—X— TOWN OF CHRISTIANSBURG UTILITY CONTRACTOR EXISTING	
(G) CG-6 CURB AND GUTTER	(W) WATER LATERAL (2")	
(H) HANDICAP PARKING & SIGN	—X— TOWN OF CHRISTIANSBURG UTILITY CONTRACTOR EXISTING	
(P) CONNECTION BY PLUMBER		

**PAVEMENT MARKING NOTES:**

1. STANDARD PARKING STRIPING: SURFACES SHOULD BE CLEAN AND DRY STRIPING SHALL BE 4" WIDE, COLOR WHITE

**LOT TABLE**

LOT	ACREAGE	SQUARE FEET	FRONTAGE	WIDTH AT SETBACK	ADDRESS
1	0.195	8,477.46	50.60'	49.75'	175 CRAIG STREET NE
2	0.085	3,718.00	21.00'	21.00'	173 CRAIG STREET NE
3	0.080	3,504.56	21.00'	21.00'	171 CRAIG STREET NE
4	0.169	7,404.75	52.30'	51.75'	169 CRAIG STREET NE



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