

PROJECT SUMMARY:

1. DEVELOPER: NRV MARKETPLACE, LLC
216 N. HUMPHREYS STREET
FLAGSTAFF, ARIZONA 86011
PROJECT LOCATION: 2505-2585 MARKET STREET N.E.
CHRISTIANSBURG, VIRGINIA 24073
OWNER: NRV MARKETPLACE, LLC C/O KR CHRISTIANSBURG, LLC
216 N. HUMPHREYS STREET
FLAGSTAFF, ARIZONA 86011
PARCEL ID: 027970 / TAX MAP ID: 436-5-1
INST. #2018008489 & INST. #2018008490 / P.B. 14, PG. 73

2. ALL WORK PROPOSED IN THESE PLANS IS TO BE DONE WITHIN THE ABOVE LISTED TAX PARCELS, EASEMENTS OBTAINED, OR PUBLIC RIGHTS-OF-WAY.

3. TYPE OF CONSTRUCTION [USE & OCCUPANCY CLASSIFICATION]: COMMERCIAL
RESTAURANT (GROUP A-2) 8,930 S.F.
RETAIL (GROUP M) 99,476 S.F. (24,275 S.F. NEW CONSTR. / 75,201 S.F. EXISTING)

4. ZONING DISTRICT: B3 ~ GENERAL BUSINESS

SETBACKS:
FRONT= 30' FROM ANY STREET RIGHT-OF-WAY
SIDE= NONE
REAR= NONE
PARKING= 15' FROM RIGHT-OF-WAY

5. ZONING/PLANNING AREAS (PHASE II SITE, SEE C4 FOR MASTER PLAN)
TOTAL PROJECT AREA: 560,626 S.F. (12.87 AC.)
TOTAL DISTURBED AREA: 339,086 S.F. (7.78 AC.)
TOTAL BUILDING AREA: ±108,406 S.F. (SEE ARCH.)
TOTAL NUMBER OF BUILDINGS: 6
BUILDING HEIGHT: VARIES, 35' MAX PER CODE, UP TO 70 FT W/ INCR. SETBACK
PRE-DEVELOPMENT LOT COVERAGE (% IMP): 1,070,134 S.F. (80.9%)
PROPOSED LOT COVERAGE (% IMP): NET CHANGE OF -32,320 S.F. (THIS PLAN)

6. GREENSPACE AND LANDSCAPING AREAS (ALL PERMITTED/PENDING DEVELOPMENT, SEE C4 FOR MASTER PLAN)
TOTAL AREA: 1,322,787 S.F.
IMPERVIOUS SURFACE AREA: 1,062,081 S.F. (80.3% SEE MASTER PLAN)
GREENSPACE REQUIRED: 252,653 S.F. (19.1% MATCH EXISTING NON-CONFORMITY)
GREENSPACE PROVIDED: 260,706 S.F. (19.7%)
LANDSCAPING REQUIRED: 126,327 S.F. (50% OF REQUIRED GREENSPACE)
LANDSCAPING PROVIDED: TBD (SEE MASTER PLAN)

TREES REQUIRED: 632 TREES (MIN. 6 FEET TALL)
TREES PROVIDED: TBD (SEE MASTER PLAN)

7. INTERIOR PARKING LOT GREENSPACE AND TREE REQUIREMENTS (ALL PERMITTED/PENDING DEVELOPMENT, SEE SHT C4)
PARKING GREENSPACE REQUIRED: 6,716 S.F. (TBD FOR FUTURE DEVELOPMENT)
PARKING GREENSPACE PROVIDED: NET CHANGE OF 12,862 S.F.
TREES REQUIRED: 32 (TBD FOR FUTURE DEVELOPMENT)
TREES PROVIDED: NET CHANGE OF 38 PROVIDED

8. PARKING TABULATIONS NEW CONSTRUCTION & EXISTING (PHASE II SITE, SEE C4 FOR MASTER PLAN)

PARKING SPACES REQUIRED:
RESTAURANTS: 8,930 S.F. = 90 SPACES
RETAIL: 99,476 S.F. = 293 SPACES

PARKING SPACES PROVIDED:
ACCESSIBLE SPACES REQUIRED: 18 (FOG GROUP A AND M PER SECTION 1106.1 TABLE 1106.1(1))
3 VAN ACCESSIBLE SPACE REQUIRED PER SECTION 1106.5*
*PER 2012 VIRGINIA CONSTRUCTION CODE EFFECTIVE JULY 14, 2014
ACCESSIBLE SPACES PROVIDED: 28 INCLUDING 8 VAN ACCESSIBLE

9. FRONTRAGE REQUIREMENT OF ZONING: VEHICULAR ACCESS IS PROVIDED TO A PUBLIC STREET
RIGHT-OF-WAY THROUGH A PERPETUAL UNOBSTRUCTED PAVED EASEMENT OF AT LEAST 30 FT IN WIDTH.

10. LOT AREA REQUIREMENT OF ZONING: NONE

11. THE SUBJECT PROPERTY IS ENCUMBERED BY EXISTING EASEMENTS. EASEMENTS HAVE BEEN SHOWN
HEREON BASED ON AVAILABLE PUBLIC RECORDS, HOWEVER, THIS PLAN MAY NOT REFLECT ALL EASEMENTS
OR ENCUMBRANCES THAT AFFECT THE SUBJECT PROPERTY.

12. THE TOPOGRAPHY, AS DEPICTED HEREON, IS THE RESULT OF AN ACTUAL FIELD SURVEY CONDUCTED BY
BALZER & ASSOCIATES BETWEEN JANUARY 18, 2018 AND FEBRUARY 12, 2018. ADJACENT PROPERTIES
ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND NOT NECESSARILY THE RESULT OF A FIELD
SURVEY.

HORIZONTAL DATUM: NAD83 (VIRGINIA SOUTH ZONE)
VERTICAL DATUM: NAVD88

13. NO GRAVES, STRUCTURES, OR OBJECTS MARKING A PLACE OF HUMAN BURIAL WERE FOUND AT TIME OF
SURVEY.

14. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A F.E.M.A. DESIGNATED 100-YEAR FLOOD HAZARD ZONE.
THE SUBJECT PROPERTY LIES WITHIN "UNSHADDED ZONE X - OTHER AREAS", AS DEFINED BY F.E.M.A. &
AS SHOWN ON F.I.R.M. MAP NO. 5121C0141C, EFFECTIVE DATE OF SEPTEMBER 25, 2009. THIS
DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN
PERFORMED AS A PART OF THIS PROJECT.

15. DESIGN DAILY WATER CONSUMPTION RATE: RESTAURANTS (+343 SEATS) = 17,156 GPD
RETAIL (99,476 SF) = 29,843 GPD
TOTAL: 46,993 GPD (PER TOC WATER STANDARDS)

16. THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH THE PRELIMINARY GEOTECHNICAL INVESTIGATION
AND EVALUATION ENTITLED "MARKETPLACE SHOPPING CENTER REDEVELOPMENT" BY CTI CONSULTANTS,
INC. DATED FEBRUARY 2018. IF GROUNDWATER, KARST FEATURES, OR OTHER SUBSURFACE HAZARDS
ARE ENCOUNTERED, THE DESIGN ENGINEER AND THE TOWN SHALL BE NOTIFIED IMMEDIATELY.

17. REFERENCE IS MADE TO THE INFRASTRUCTURE DESIGN PLANS ENTITLED "MARKET PLACE REDEVELOPMENT -
PHASE I" BY BALZER & ASSOCIATES, LAST REVISED 12/01/2018 AND APPROVED BY THE TOWN ON
MARCH 8, 2019.

18. PROPERTY IS SUBJECT TO PERFORMANCE REQUIREMENTS OF THE PERFORMANCE AGREEMENT MADE
BETWEEN THE TOWN OF CHRISTIANSBURG, THE ECONOMIC DEVELOPMENT AUTHORITY OF MONTGOMERY
COUNTY, VA, AND KR CHRISTIANSBURG, LLC, DATED JANUARY 9, 2018.

19. PROPERTY IS SUBJECT TO THE REQUIREMENTS OF THE CONDITIONAL USE PERMIT APPROVED BY
CHRISTIANSBURG TOWN COUNCIL ON SEPTEMBER 24TH, 2019.

APPROXIMATE EARTHWORK NOTES

CUT: 1,970 C.Y.

FILL: 3,806 C.Y. (1.1X COMPACTION RATE).

NET: 1,836 C.Y. FILL

- ALL QUANTITIES ARE ENGINEER'S ESTIMATES FOR TOWN BONDING PURPOSES ONLY. ALL QUANTITIES SHALL BE CONSIDERED PRELIMINARY UNTIL FINAL SITE PLAN APPROVAL.
- EARTHWORK QUANTITIES MAY BE BASED ON AN EXISTING TOP OF GRADE TO PROPOSED TOP OF GRADE COMPARISON ONLY AND THUS ARE APPROXIMATE. ACTUAL EARTHWORK REQUIRED WILL VARY BASED ON THE PRESENCE OF UNSUITABLE SOILS, TOPSOIL DEPTH, COMPACTION RATE, BASE, STONE DEPTH, UTILITY TRENCH EXCAVATION, AND OTHER ENVIRONMENTAL FACTORS.
- CONTRACTOR IS RESPONSIBLE FOR CONDUCTING THEIR OWN QUANTITIES TAKEOFF FOR BIDDING PURPOSES.

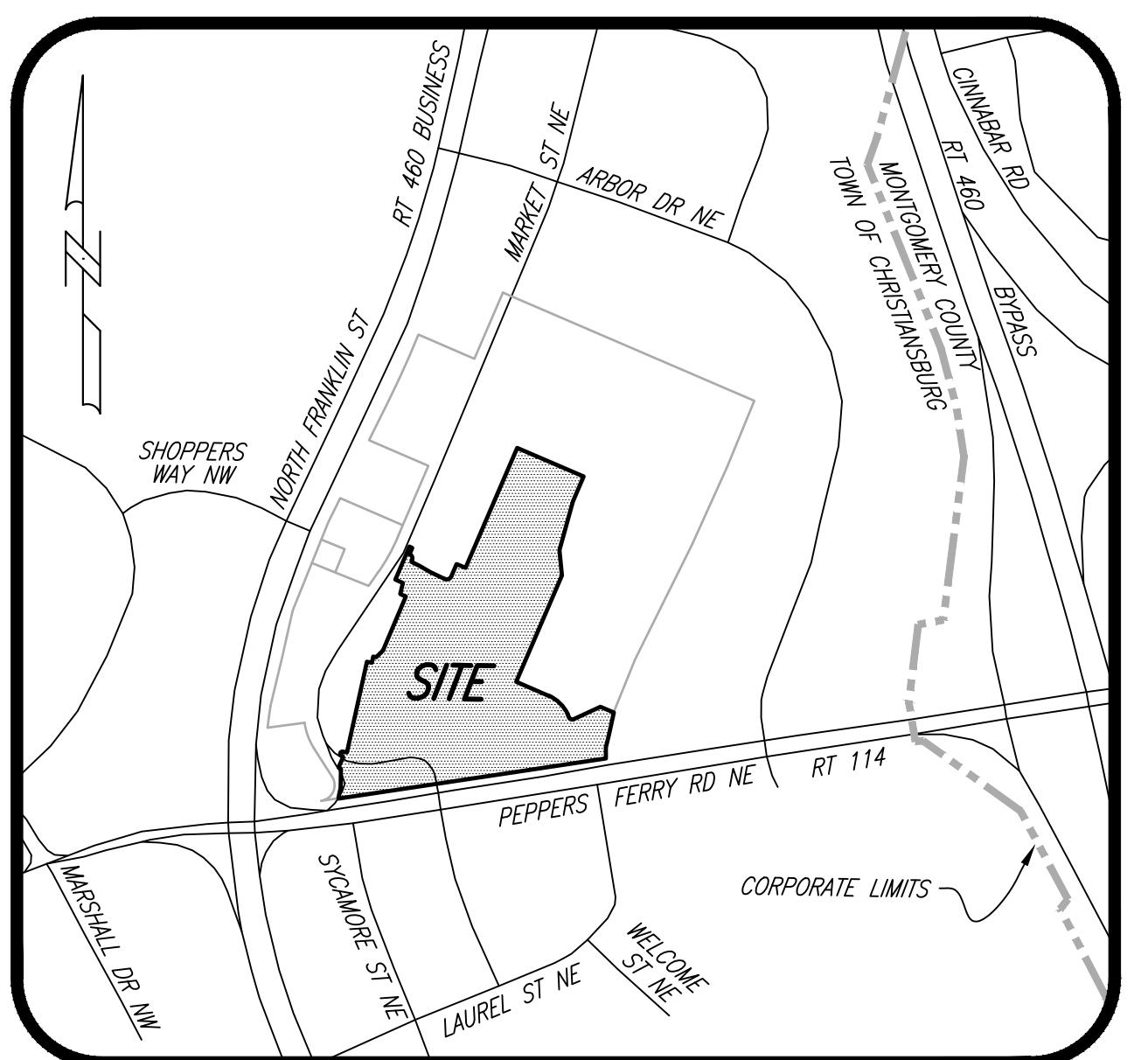
LINE AND CURVE TABLES

SEE SHEET C4 FOR BOUNDARY INFORMATION.

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	93.61'	47.00'	114°06'58"	N24°28'41"E
C2	80.51'	183.00'	25°12'25"	N19°58'47"W
C3	64.27'	1861.86'	1°58'40"	N7°37'22"E
C4	216.11'	2991.79'	4°08'19"	N24°19'50"E
				216.06'

MARKET PLACE REDEVELOPMENT PHASE II

2505-2585 MARKET STREET N.E.
TOWN OF CHRISTIANSBURG, VA



VICINITY MAP

SCALE: 1" = 500'

TOWN OF CHRISTIANSBURG, GENERAL NOTES:

1. ALL TRANSPORTATION INFRASTRUCTURE, AND THE DESIGN AND CONSTRUCTION OF STORM DRAINS AND MANHOLES, WILL BE IN ACCORDANCE WITH VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS; LATEST EDITION, CHAPTER 9 OF THE VDOT DRAINAGE MANUAL, 2008 EDITION, AS AMENDED, AND TOWN OF CHRISTIANSBURG STANDARDS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED ON THE PLANS OR BY TOWN POLICY.

2. UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATION 9VAC25-840-40 EROSION AND SEDIMENT CONTROL REGULATIONS.

3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

4. ALL INFRASTRUCTURES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.

5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE TOWN, AND OTHER UTILITY SHALL BE LOCATED WITHIN 5 FEET, MEASURED HORIZONTALLY, OF ANY UTILITY TO BE MAINTAINED BY THE TOWN, EXCEPT WHERE CROSSING OF UTILITIES IS REQUIRED OR OTHERWISE APPROVED, IN WRITING, BY THE DIRECTOR OF ENGINEERING.

6. ALL WATERLINES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH AWWA STANDARD C-600, LATEST REVISION, AND THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.

7. INSTALLATION OF WATER METERS, WATER METER BOXES, AND TAPS ON EXISTING WATER MAINS SHALL BE PERFORMED BY TOWN PERSONNEL AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONSTRUCT ALL WATER SERVICE LINES BETWEEN THE TAPS AND WATER METERS. THE LOCATION AND INSTALLATION OF EACH TAP SHALL BE COORDINATED BY THE CONTRACTOR.

8. ALL SANITARY SEWER LINES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH THE COMMONWEALTH OF VIRGINIA'S SEWAGE COLLECTION AND TREATMENT REGULATIONS, LATEST EDITION, THE REGULATIONS, STANDARDS, AND SPECIFICATIONS SET FORTH BY THE COMMONWEALTH OF VIRGINIA AND THE TOWN OF CHRISTIANSBURG.

9. CONNECTIONS TO EXISTING TOWN SANITARY SEWERS SHALL BE PERFORMED BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF TOWN PERSONNEL. THE CONTRACTOR SHALL CONSTRUCT ALL SANITARY SEWER SERVICE LINES BETWEEN THE SANITARY SEWER MAIN AND THE CLEANOUT LOCATED AT THE PROPERTY OR EASEMENT LINE.

10. ALL PARKING SPACES, INCLUDING ADA COMPLIANT SPACES, SHALL BE SIGNED AND STRIPED ACCORDING TO CODE OF VIRGINIA SECTION 36-99.11.

11. ADA SIGNAGE SHALL BE PROVIDED ACCORDING TO TOWN STANDARD DETAIL HS-1 FOR ALL HANDICAPPED ACCESSIBLE PARKING SPACES.

12. RIGHT-OF-WAY, LOT LINES, AND EASEMENTS ARE DEDICATED ON PLATS SEPARATE FROM THESE PLANS.

13. SIGNAGE IS PERMITTED SEPARATELY IN ACCORDANCE WITH CHAPTER 42, "ZONING" OF THE CHRISTIANSBURG TOWN CODE.

LEGEND

-----348-----	EX. INTRMDT. CONTOUR
-----345-----	EX. INDEX CONTOUR
+ 35.55	EX. SPOT ELEVATION
8" WL	EX. WATER LINE
8" SAN	EX. SANITARY SEWER
18" RCP	EX. STORM PIPE
-----	EX. EDGE OF PAVEMENT
-----	EX. BUILDING
-----	EX. CONCRETE
-----	EX. PAVEMENT
-----	EX. GRAVEL
-----	EX. PAVEMENT REPLACEMENT
●	EX. POWER POLE
(S)	EX. SANITARY SEWER MANHOLE
(SM)	EX. STORM SEWER MANHOLE
(C)	CLEANOUT
(L)	EX. LIGHT POLE
(W)	WATER LINE REDUCER
(T)	EX. TELEPHONE
G	EX. GAS LINE
OHU	EX. OVERHEAD CABLE
X	EX. FENCE
-----	ADJOINING PROPERTY LINE
-----	EXISTING ROAD MONUMENTS
WETLAND AREA	WETLAND AREA
RMA	RESOURCE MANAGEMENT AREA
-----	INLET PROTECTION
-----	RPA

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