

NOTE: THIS SHEET IS INTENDED TO DEPICT THE PORTION OF THE SITE FOR WHICH THESE PLANS SERVE AS THE FINAL DEVELOPMENT PLAN. THE BOUNDARY SHOWN ON THIS SHEET MAY NOT MATCH THE LIMITS OF DISTURBANCE, AS ADDITIONAL DEMOLITION OR GRADING ACTIVITIES ARE PERMITTED AS PART OF THIS PLAN.

NOTE: ALL FUTURE DEVELOPMENT AREAS ARE PRELIMINARY. FINAL BUILDING AND PARKING LAYOUT ARE SUBJECT TO CHANGE.

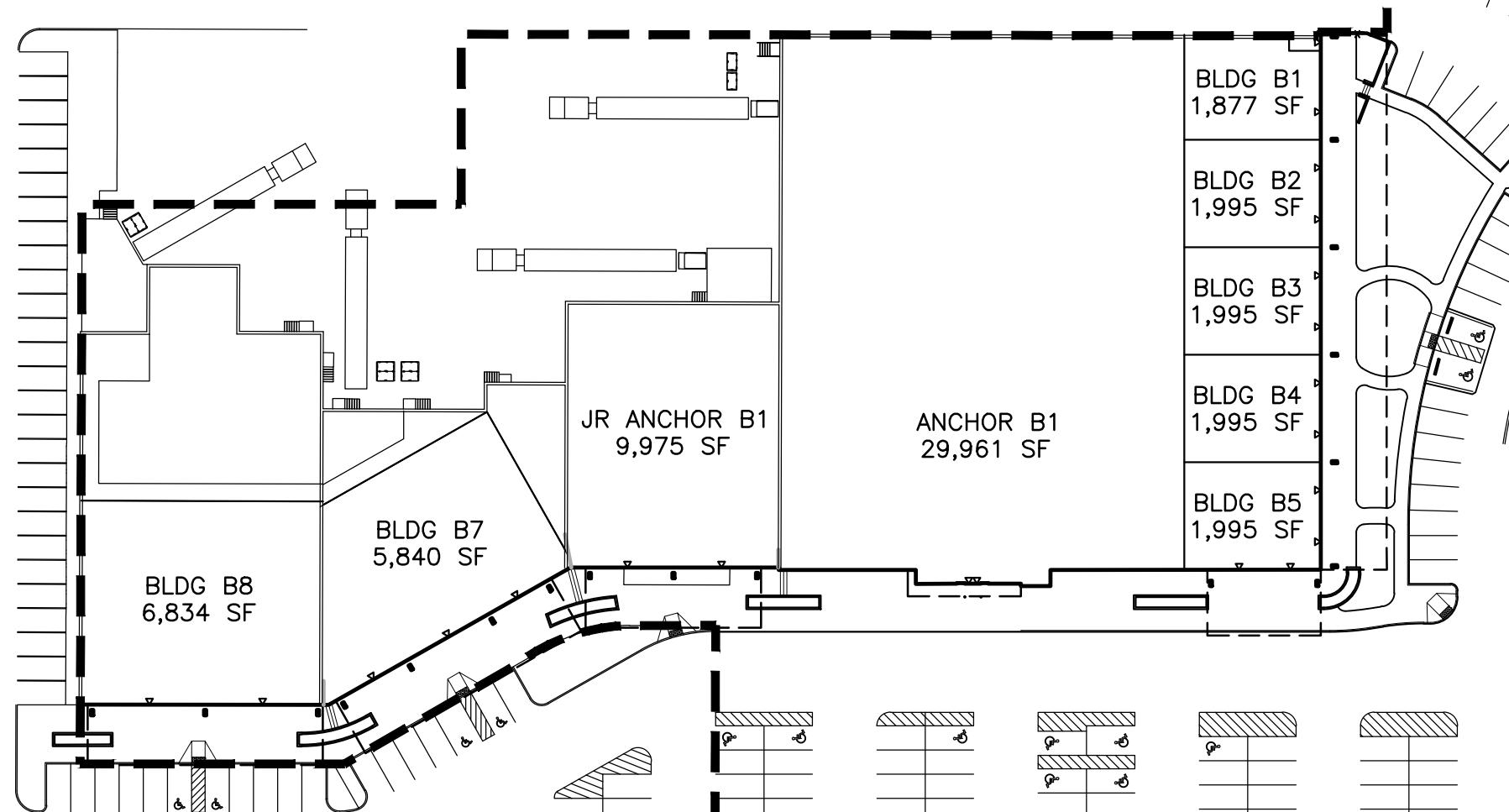
PAD D FINAL DEVELOPMENT PLAN APPROXIMATELY 1.37 ACRES

FUTURE DEVELOPMENT

HOTEL A
107 ROOMS

HOTEL B
135 ROOMS

FUTURE DEVELOPMENT



IMPERVIOUS SURFACE AREA/LOT COVERAGE (NET CHANGE)		
PHASE I (INCLUDES ARBY'S)	-12,570	S.F.
PAD D	-5,664	S.F.
PAD H	16,657	S.F.
PHASE II	-32,320	S.F.
PAD G	10,393	S.F.
BLDG H1	10,222	S.F.
ALL PERMITTED/PENDING DEVELOPMENT	-13,182	S.F.
ALL PERMITTED/PENDING DEVELOPMENT	7,700	S.F.
PROVIDED (NET CHANGE)	PROVIDED (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)	6,261	S.F.
PAD D	457	S.F.
PAD H	1,010	S.F.
PHASE II	4,164	S.F.
PAD G	495	S.F.
BLDG H1	358	S.F.
ALL PERMITTED/PENDING DEVELOPMENT	12,745	S.F.

INTERIOR PARKING LOT GREENSPACE AND LANDSCAPING	
REQUIRED AREA #	REQUIRED TREES
PHASE I (INCLUDES ARBY'S) (37 SPACES)	1,480 S.F. 4
PAD D (94 SPACES X 13.3% OF BLDG AREA)	260 S.F. 2
PAD H (73 SPACES)	1,460 S.F. 8
PHASE II (168 SP + 80 SP X 11.6% OF BLDG AREA)	3,560 S.F. 18
PAD G (20 SPACES)	400 S.F. 2
BLDG H1 (27 SPACES)	540 S.F. 3
ALL PERMITTED/PENDING DEVELOPMENT	7,700 S.F. 37
PROVIDED (NET CHANGE)	PROVIDED (NET CHANGE)
PHASE I (INCLUDES ARBY'S)	6,261 S.F. 5
PAD D	457 S.F. 1
PAD H	1,010 S.F. 4
PHASE II	4,164 S.F. 31
PAD G	495 S.F. 2
BLDG H1	358 S.F. 1
ALL PERMITTED/PENDING DEVELOPMENT	12,745 S.F. 44

* REQUIRED PARKING LOT GREENSPACE AND LANDSCAPING IS CALCULATED BASED ON THE PARKING REQUIRED FOR NEW CONSTRUCTION. EXISTING PARKING SERVING EXISTING BUILDINGS IS EXCLUDED. IN THE CASE WHERE NEW CONSTRUCTION IS ADDED TO AN EXISTING SPACE, THE REQUIRED PARKING FOR THE SPACE IS MULTIPLIED BY THE RATIO OF NEW TO EXISTING SQUARE FOOTAGE.

REQUIRED PARKING LOT GREENSPACE IS CALCULATED AT A RATE OF 20 S.F. PER SPACE FOR THE APPROVED CONDITIONAL USE PERMIT.

TREES PROVIDED	
PHASE I (INCLUDES ARBY'S)	92
PAD D	7
PAD H	41
PHASE II	234
PAD G	2
BLDG H1	2
ALL PERMITTED/PENDING DEVELOPMENT	378
LANDSCAPING PROVIDED	
PHASE I (INCLUDES ARBY'S)	20,237 S.F.
PAD D	2,364 S.F.
PAD H	7,310 S.F.
PHASE II	42,925 S.F.
PAD G	1,729 S.F.
BLDG H1	1,663 S.F.
ALL PERMITTED/PENDING DEVELOPMENT	76,228 S.F.
REMAINING REQUIRED	254 S.F.

OVERALL CENTER PARKING REQUIREMENTS	
MEDICAL OFFICE	3,509 S.F. 18
SHOPPING CENTER/RETAIL	153,164 S.F. 446
RESTAURANT	19,899 S.F. 199
HOTEL	242 ROOMS 252
TOTAL REQUIRED	915
TOTAL PROVIDED	1,322
COMPACT PROVIDED	6 (0.5%)

OVERALL CENTER ACCESSIBLE PARKING REQUIREMENTS
TOTAL REQUIRED: 27
TOTAL PROVIDED: 64
VAN ACCESSIBLE REQUIRED: 11
VAN ACCESSIBLE PROVIDED: 20

INTERIOR PARKING LOT GREENSPACE

PHASE II FINAL DEVELOPMENT PLAN APPROXIMATELY 12.87 ACRES

MASTER PLAN

2710-2730 MARKET STREET N.E.

SHAWSVILLE MAGISTERIAL DISTRICT
TOWN OF CHRISTIANSBURG, VIRGINIA

DRAWN BY
JRT
DESIGNED BY
JRT
CHECKED BY
SMS
DATE
4/1/19
SCALE
1" = 60'
REVISIONS
5/1/19
11/22/19

C4
PROJECT NO
24190021

PROPOSED ADDRESSING					
JR ANCHOR A1	2505 MARKET STREET N.E.	JR ANCHOR B1	2645 MARKET STREET N.E.	BLDG D5	2735 MARKET STREET N.E.
ANCHOR A1	2525 MARKET STREET N.E.	BLDG B7	2655 MARKET STREET N.E.	BLDG D6	2725 MARKET STREET N.E.
BLDG A1	2545 MARKET STREET N.E.	BLDG B8	2665 MARKET STREET N.E.	BLDG D7	2715 MARKET STREET N.E.
BLDG A2	2575 MARKET STREET N.E.	HOTEL A	2705 MARKET STREET N.E.	BLDG E1	2701 MARKET STREET N.E.
BLDG A3	2585 MARKET STREET N.E.	HOTEL B	2707 MARKET STREET N.E.	BLDG E2	2685 MARKET STREET N.E.
BLDG B1	2609 MARKET STREET N.E.	BLDG H1	2745 MARKET STREET N.E.	BLDG G1	24,275 SF
BLDG B2	2613 MARKET STREET N.E.	BLDG H4	3,855 SF	BLDG H2	1,549 SF
BLDG B3	2617 MARKET STREET N.E.	BLDG H5	3,509 SF	BLDG H3	2,495 SF
BLDG B4	2621 MARKET STREET N.E.	BLDG H6	2,495 SF	BLDG H4	2,495 SF
BLDG B5	2625 MARKET STREET N.E.	BLDG H7	2,495 SF	BLDG H5	2,495 SF
ANCHOR B1	2635 MARKET STREET N.E.	BLDG H8	2,495 SF	BLDG H6	2,495 SF

PROPOSED INTERSECTION IMPROVEMENTS
SEE DESIGN PLANS BY KIMLEY-HORN
"FRANKLIN STREET IMPROVEMENTS AT
CHRISTIANSBURG MALL REDEVELOPMENT"

FINAL DEVELOPMENT PLAN FOR ARBY'S
"ARBYS #8156" FILED SEPARATELY

60 0 60 120 180

SCALE: 1" = 60'

APPROVED: Engineering	Date
APPROVED: Planning	Date

