

NOTE: THIS SHEET IS INTENDED TO DEPICT THE PORTION OF THE SITE FOR WHICH THESE PLANS SERVE AS THE FINAL DEVELOPMENT PLAN. THE BOUNDARY SHOWN ON THIS SHEET MAY NOT MATCH THE LIMITS OF DISTURBANCE, AS ADDITIONAL DEMOLITION OR GRADING ACTIVITIES ARE PERMITTED AS PART OF THIS PLAN.

NOTE: ALL FUTURE DEVELOPMENT AREAS ARE PRELIMINARY. FINAL BUILDING AND PARKING LAYOUT ARE SUBJECT TO CHANGE.

PAD D FINAL DEVELOPMENT PLAN APPROXIMATELY 1.37 ACRES

PAD H FINAL DEVELOPMENT PLAN APPROXIMATELY 1.67 ACRES

PAD H1 FINAL DEVELOPMENT PLAN APPROXIMATELY 0.30 ACRES

PAD G FINAL DEVELOPMENT PLAN APPROXIMATELY 0.33 ACRES

PHASE II FINAL DEVELOPMENT PLAN APPROXIMATELY 12.87 ACRES

PROPOSED ADDRESSING			
JR ANCHOR A1	2505 MARKET STREET N.E.	JR ANCHOR B1	2645 MARKET STREET N.E.
ANCHOR A1	2525 MARKET STREET N.E.	BLDG B7	2655 MARKET STREET N.E.
BLDG A1	2545 MARKET STREET N.E.	BLDG B8	2665 MARKET STREET N.E.
BLDG A2	2575 MARKET STREET N.E.	HOTEL A	2705 MARKET STREET N.E.
BLDG A3	2585 MARKET STREET N.E.	HOTEL B	2707 MARKET STREET N.E.
BLDG B1	2609 MARKET STREET N.E.	BLDG C1	2703 MARKET STREET N.E.
BLDG B2	2613 MARKET STREET N.E.	BLDG C2	2695 MARKET STREET N.E.
BLDG B3	2617 MARKET STREET N.E.	BLDG D1	2775 MARKET STREET N.E.
BLDG B4	2621 MARKET STREET N.E.	BLDG D2	2765 MARKET STREET N.E.
BLDG B5	2625 MARKET STREET N.E.	BLDG D3	2755 MARKET STREET N.E.
ANCHOR B1	2635 MARKET STREET N.E.	BLDG D4	2745 MARKET STREET N.E.
		BLDG D5	2735 MARKET STREET N.E.
		BLDG D6	2725 MARKET STREET N.E.
		BLDG D7	2715 MARKET STREET N.E.
		BLDG E1	2701 MARKET STREET N.E.
		BLDG E2	2685 MARKET STREET N.E.
		BLDG F1	2675 MARKET STREET N.E.
		BLDG G1	2670 MARKET STREET N.E.
		BLDG H1	2700 MARKET STREET N.E.
		BLDG H2	2710 MARKET STREET N.E.
		BLDG H3	2720 MARKET STREET N.E.
		BLDG H4	2730 MARKET STREET N.E.

PROPOSED INTERSECTION IMPROVEMENTS
SEE DESIGN PLANS BY KIMLEY-HORN
"FRANKLIN STREET IMPROVEMENTS AT
CHRISTIANSBURG MALL REDEVELOPMENT"

IMPERVIOUS SURFACE AREA/LOT COVERAGE (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)	-12,570 S.F.
PAD D	-5,664 S.F.
PAD H	16,657 S.F.
PHASE II	-32,320 S.F.
PAD G	10,393 S.F.
BLDG H1	10,322 S.F.
ALL PERMITTED/PENDING DEVELOPMENT	-13,182 S.F.

INTERIOR PARKING LOT GREENSPACE AND LANDSCAPING	
REQUIRED AREA * #	REQUIRED TREES
PHASE I (INCLUDES ARBY'S) (37 SPACES)	1,480 S.F. 4
PAD D (94 SPACES x 13.3% OF BLDG AREA)	260 S.F. 2
PAD H (73 SPACES)	1,460 S.F. 8
PHASE II (168 SP + 80 SP x 11.6% OF BLDG AREA)	3,560 S.F. 18
PAD G (20 SPACES)	400 S.F. 2
BLDG H1 (27 SPACES)	540 S.F. 3
ALL PERMITTED/PENDING DEVELOPMENT	7,700 S.F. 37
PROVIDED (NET CHANGE)	
PHASE I (INCLUDES ARBY'S)	6,261 S.F. 5
PAD D	457 S.F. 1
PAD H	1,010 S.F. 4
PHASE II	4,164 S.F. 31
PAD G	495 S.F. 2
BLDG H1	358 S.F. 1
ALL PERMITTED/PENDING DEVELOPMENT	12,745 S.F. 44

* REQUIRED PARKING LOT GREENSPACE AND LANDSCAPING IS CALCULATED BASED ON THE PARKING REQUIRED FOR NEW CONSTRUCTION. EXISTING PARKING SERVING EXISTING BUILDINGS IS EXCLUDED. IN THE CASE WHERE NEW CONSTRUCTION IS ADDED TO AN EXISTING SPACE, THE REQUIRED PARKING FOR THE SPACE IS MULTIPLIED BY THE RATIO OF NEW TO EXISTING SQUARE FOOTAGE.

REQUIRED PARKING LOT GREENSPACE IS CALCULATED AT A RATE OF 20 S.F. PER SPACE PER THE APPROVED CONDITIONAL USE PERMIT.

TREES PROVIDED	
PHASE I (INCLUDES ARBY'S)	92
PAD D	7
PAD H	41
PHASE II	234
PAD G	2
BLDG H1	2
ALL PERMITTED/PENDING DEVELOPMENT	378
REMAINING REQUIRED	254

LANDSCAPING PROVIDED	
PHASE I (INCLUDES ARBY'S)	20,237 S.F.
PAD D	2,364 S.F.
PAD H	7,310 S.F.
PHASE II	42,925 S.F.
PAD G	1,729 S.F.
BLDG H1	1,663 S.F.
ALL PERMITTED/PENDING DEVELOPMENT	76,228 S.F.
REMAINING REQUIRED	50,099 S.F.

OVERALL CENTER PARKING REQUIREMENTS		
MEDICAL OFFICE	3,509 S.F.	18
SHOPPING CENTER/RETAIL	153,164 S.F.	446
RESTAURANT	19,899 S.F.	199
HOTEL	242 ROOMS	252
TOTAL REQUIRED		915
TOTAL PROVIDED		1,322
COMPACT PROVIDED		6 (0.5%)

OVERALL CENTER ACCESSIBLE PARKING REQUIREMENTS		
TOTAL REQUIRED		27
TOTAL PROVIDED		64
VAN ACCESSIBLE REQUIRED		11
VAN ACCESSIBLE PROVIDED		20

INTERIOR PARKING LOT GREENSPACE



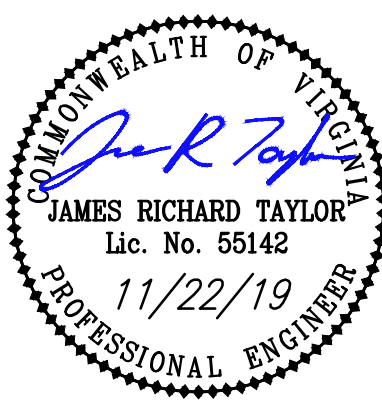
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MARKET PLACE PAD H

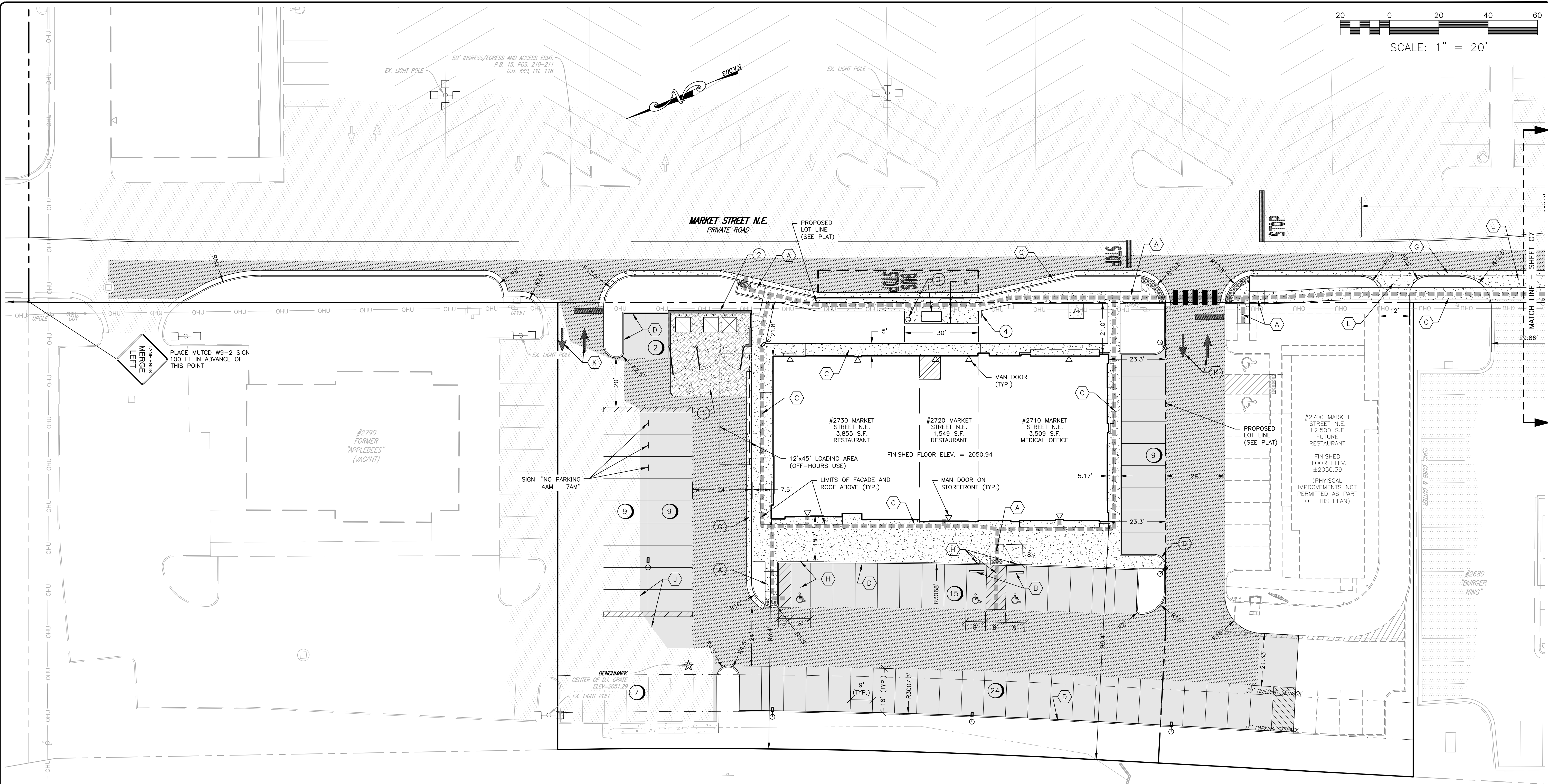
2710-2730 MARKET STREET N.E.

MASTER PLAN

DRAWN BY: JRT
DESIGNED BY: JRT
CHECKED BY: SMS
DATE: 4/1/19
SCALE: 1" = 60'
REVISIONS: 5/1/19
11/22/19

11/22/19

PROJECT NO. 24190021.00




KEY NOTES

1. DUMPSTER ENCLOSURE CONCRETE SHALL BE 6" THICK REINFORCED CONCRETE.
2. MASONRY DUMPSTER ENCLOSURE W/ METAL GATES AND SIDE ACCESS. SEE DETAILS.
3. 4'x8' BLACKSBURG TRANSIT BUS SHELTER AND REFUSE BIN. SEE DETAILS.
4. BLACKSBURG TRANSIT SIGN (PROVIDED BY OTHERS).


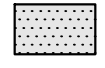
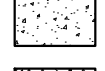


LAYOUT PLAN NOTES

1. PAVEMENT FLOW LINE RADIUS OF 5' IS TYPICAL. WHERE NO FLOW LINE EXISTS, AN EDGE OF PAVEMENT RADIUS OF 5' IS TYPICAL.
2. ANY PAVEMENT OR SIDEWALK DISTURBED OR DESTROYED OUTSIDE OF THE LIMITS OF DISTURBANCE DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED AS NECESSARY AT NO COST TO THE TOWN OR OFFSITE PROPERTY OWNER.
3. SEE SIGNAGE PLAN BY OTHER FOR EXACT SIZE AND HEIGHT OF SIGNS, INCLUDING BUILDING SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY.

PAVEMENT MARKING NOTES:

1. STANDARD PARKING STRIPING: SURFACES SHOULD BE CLEAN AND DRY STRIPING SHALL BE 4" WIDE, COLOR WHITE
2. HANDICAP PARKING STRIPING: SURFACES SHOULD BE CLEAN AND DRY STRIPING SHALL BE 4" WIDE, COLOR "HANDICAP BLUE"
3. HANDICAP SYMBOL  : SURFACES SHOULD BE CLEAN AND DRY SYMBOL SHALL BE MIN. 36"x36" SIZE, COLOR "HANDICAP BLUE"
4. HATCHED ACCESS AISLES SHALL BE A MINIMUM OF 8 FEET WIDE PER PLAN, PAINTED COLOR "HANDICAP BLUE".

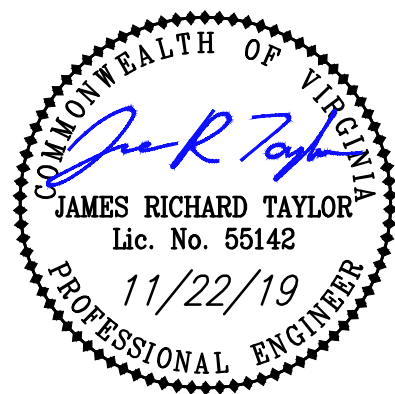
LEGEND

- | | |
|--------------------------------------|---|
| (A) CG-12 CURB RAMP |  STANDARD DUTY ASPHALT PAVING |
| (B) PARKING BUMPER BLOCK |  HEAVY DUTY ASPHALT PAVING |
| (C) CONCRETE SIDEWALK 5' WIDE U.N.O. |  CONCRETE SIDEWALK |
| (D) CG-2 CURB |  HEAVY DUTY CONCRETE PAVING THICKNESS AS NOTED |
| (G) CG-6 CURB AND GUTTER |  ACCESSIBLE ROUTE |
| (H) HANDICAP PARKING & SIGN | |
| (J) PAVEMENT JOINT | |
| (K) PAVEMENT MARKING | |
| (L) CG-9D ENTRANCE APRON | |



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MARKET PLACE PAD H
2710-2730 MARKET STREET N.E.
LAYOUT & DIMENSIONAL PLAN

DRAWN BY JRT
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DATE 4/1/19
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C5
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