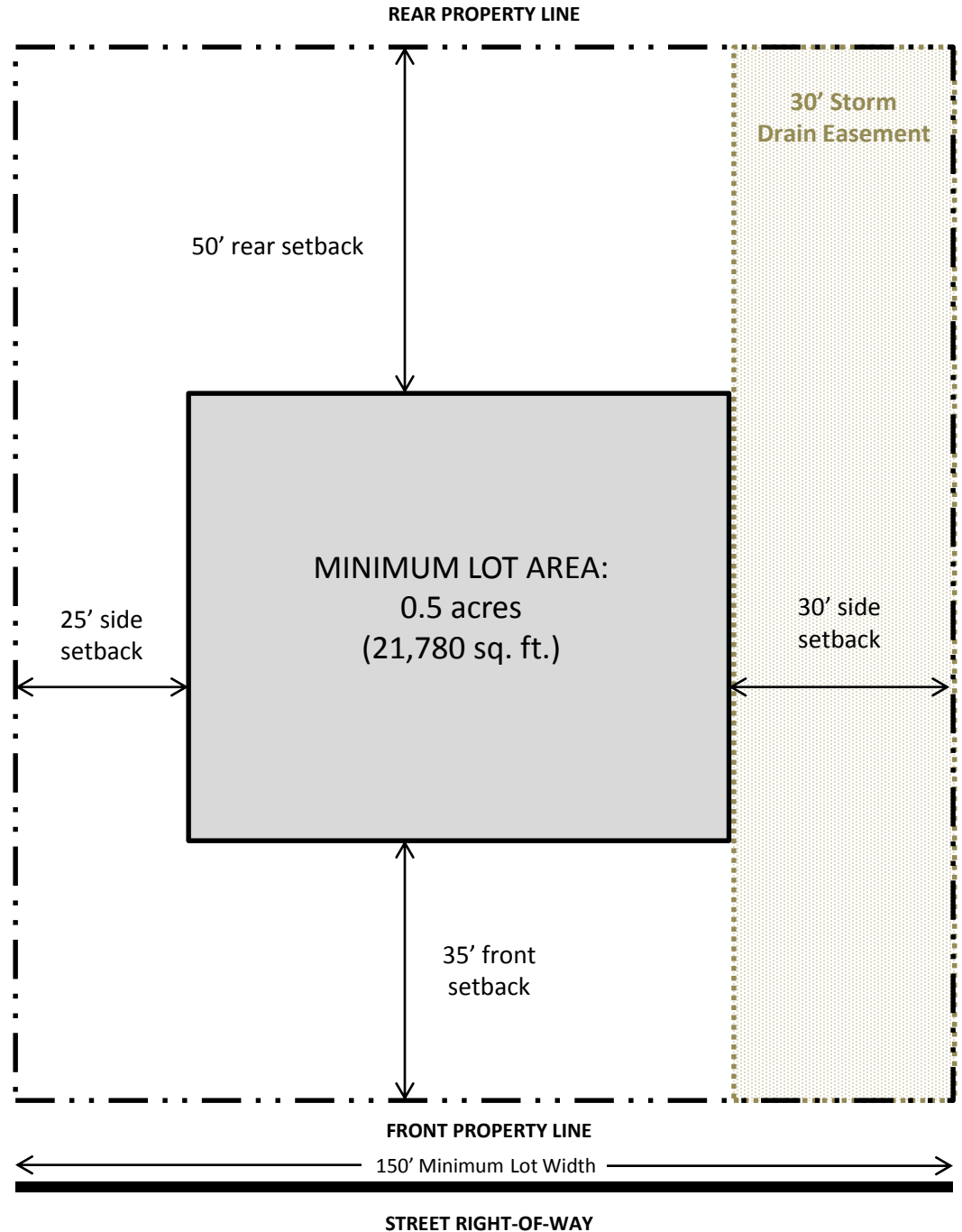


Agriculture (A)

Setback Drawing and Lot Requirements

Minimum Lot Area	
0.5 acres (21,780 sq. ft.)	
Minimum Frontage	
150 ft.	
Setback Requirements (Main Structure)	
Front	35 ft.
Side	Greatest of 25 ft. or easement width
Rear	50 ft.
Height	35 ft.
Setback Requirements (Accessory Structure)	
Front	35 ft.
Side	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	No more than one story high if within 20 ft. of any property line

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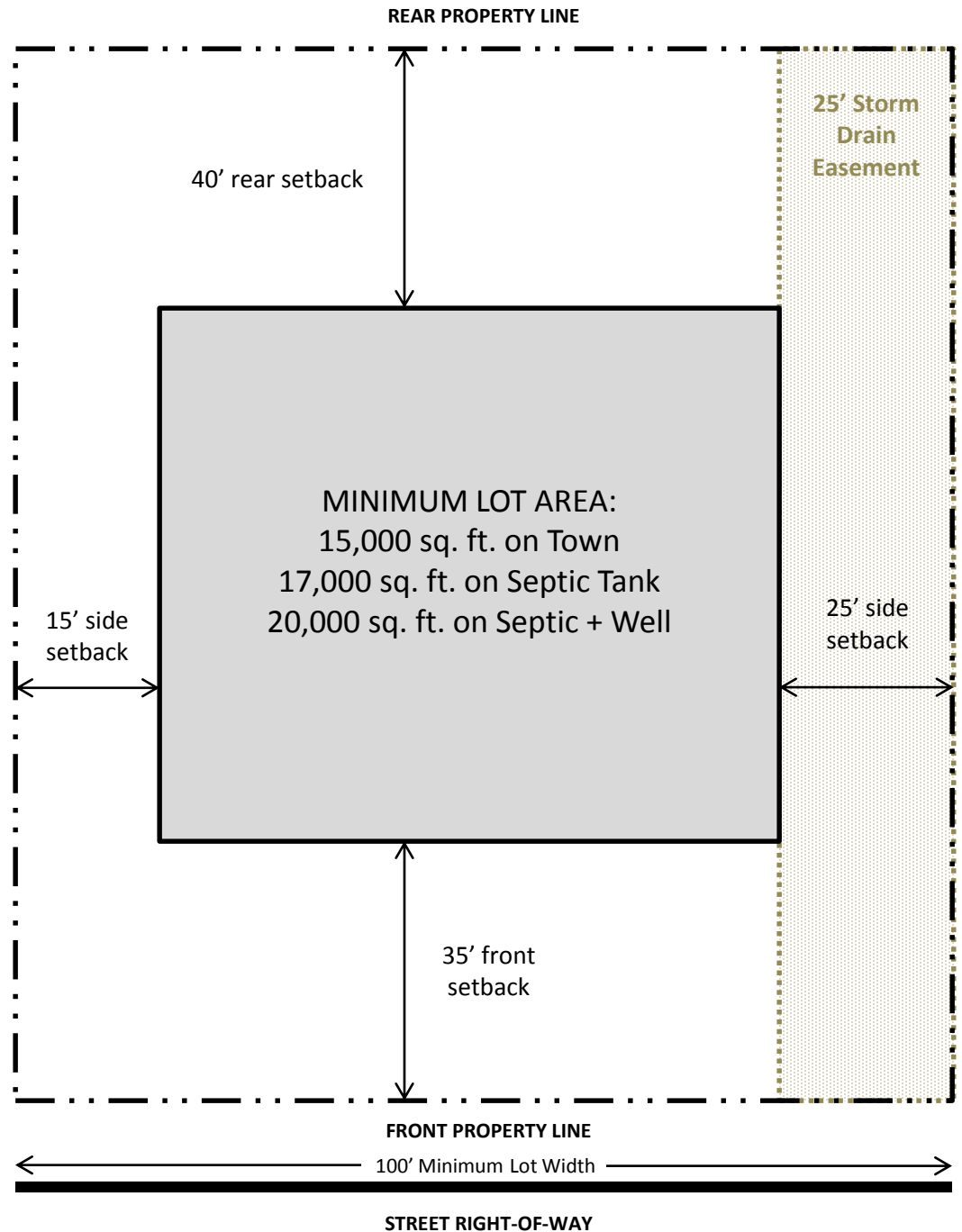


Rural Residential (R1-A)

Setback Drawing and Lot Requirements

Minimum Lot Area	
On Town Sewer/Water	15,000 sq. ft.
On Septic Tank	17,000 sq. ft.
On Septic + Well	20,000 sq. ft.
Minimum Frontage	
Standard Lots	100 ft.
All Corner Lots	125 ft.
Setback Requirements (Main Structure)	
Front	35 ft.
Side	Greatest of 15 ft. or easement width
Rear	40 ft.
Height	35 ft.
Setback Requirements (Accessory Structure)	
Front	35 ft.
Side	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	Not to exceed the main structure in height
Other	
Sidewalks and curb and gutter are required on both sides of the public streets for all new streets.	

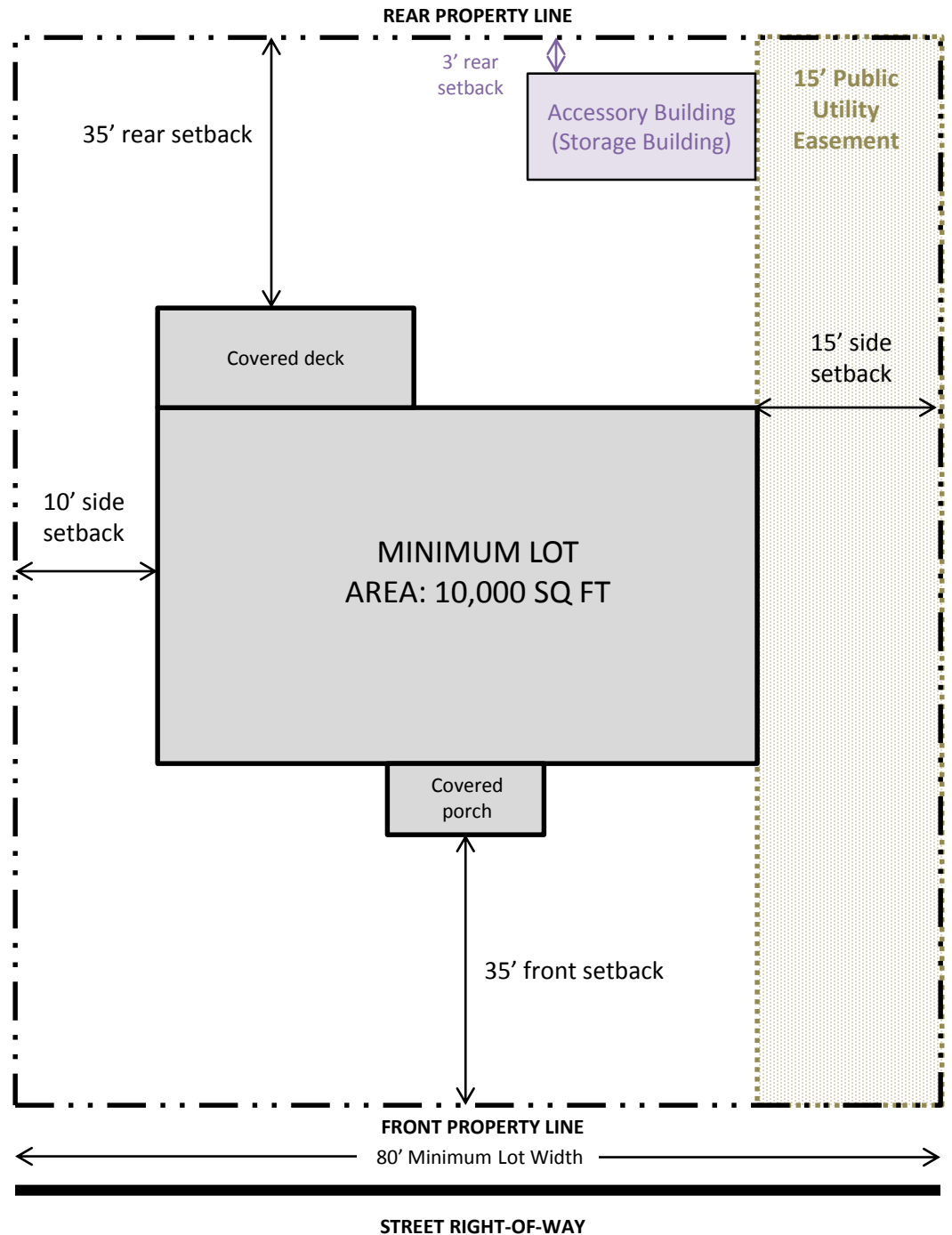
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Single-Family Residential (R-1) Setback Drawing and Lot Requirements

Minimum Lot Area	
Single Family	10,000 sq. ft.
Minimum Lot Width	
Single Family	80 ft.
All corner lots	125 ft.
*All structures in this district are to be located on the lot with the front of the structure facing the front lot line	
Setback Requirements (Main Structure)	
Front	35 ft. or more from any street right-of-way (See ordinance for setback averaging requirements)
Sides	Greatest of 10 ft. or easement width
Rear	35 ft.
Height	35 ft.
Parking Lots	Minimum of 15 ft. from any street right-of-way
Setback Requirements (Accessory Structure)	
Front	35 ft.
Sides	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	<ul style="list-style-type: none"> No more than one story high if within 20 ft. of any property line Not to exceed the main structure in height
Other	
Sidewalks and curb and gutter are required on both sides of the public streets for all new streets.	

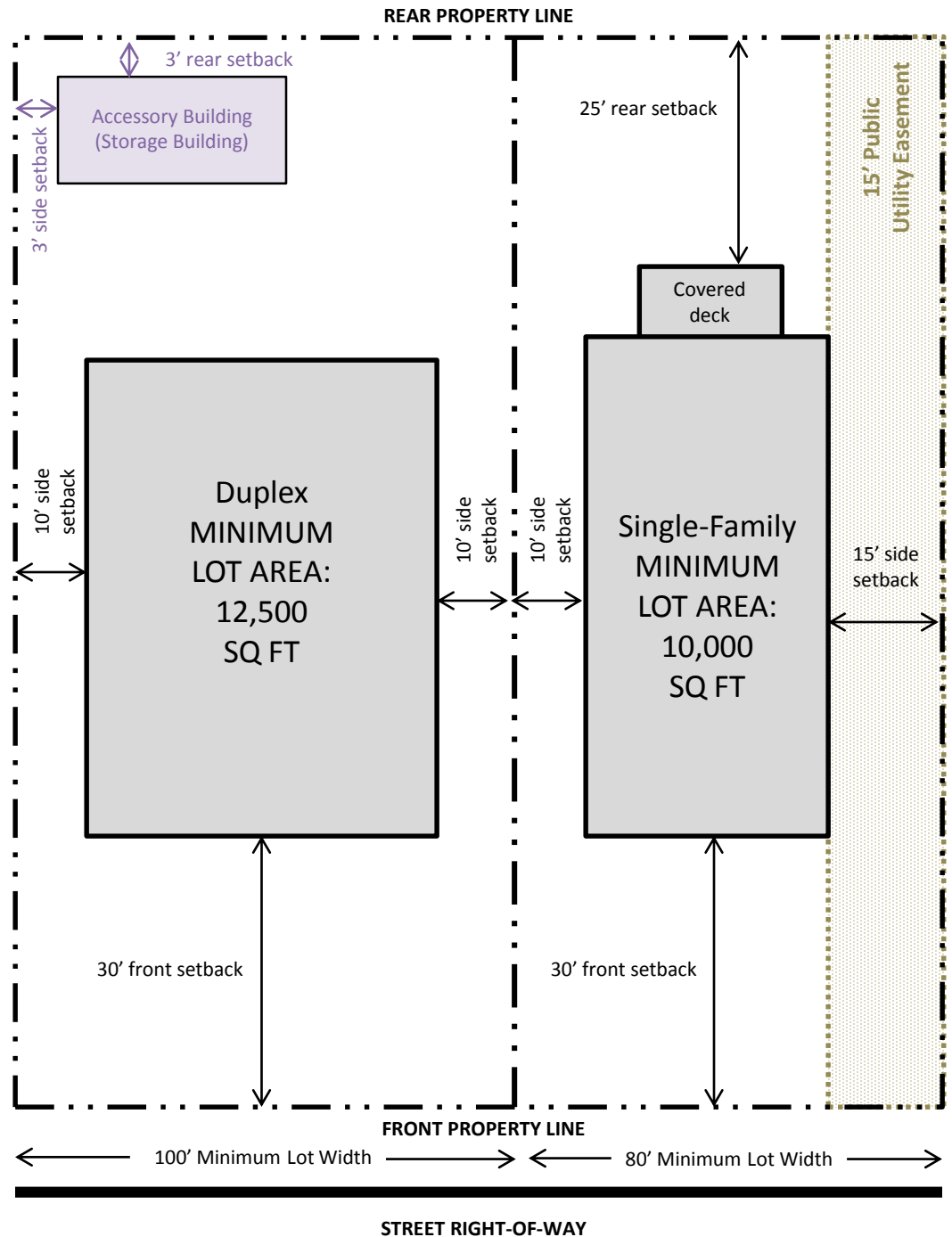
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Two-Family Residential (R-2) Setback Drawing and Lot Requirements

Minimum Lot Area	
Single-Family	10,000 sq. ft.
Duplex	12,500 sq. ft.
Minimum Lot Width	
Single Family	80 ft.
Duplex	100 ft.
All corner lots	125 ft.
*All structures in this district are to be located on the lot with the front of the structure facing the front lot line	
Setback Requirements (Main Structure)	
Front	30 ft. or more from any street right-of-way (See ordinance for setback averaging requirements)
Side	Greatest of 10 ft. or easement width
Rear	25 ft.
Height	35 ft.
Setback Requirements (Accessory Structure)	
Front	30 ft.
Side	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	<ul style="list-style-type: none"> No more than one story high if within 20 ft. of any property line Not to exceed the main structure in height
Other	
Sidewalks and curb and gutter are required on both sides of the public streets for all new streets.	

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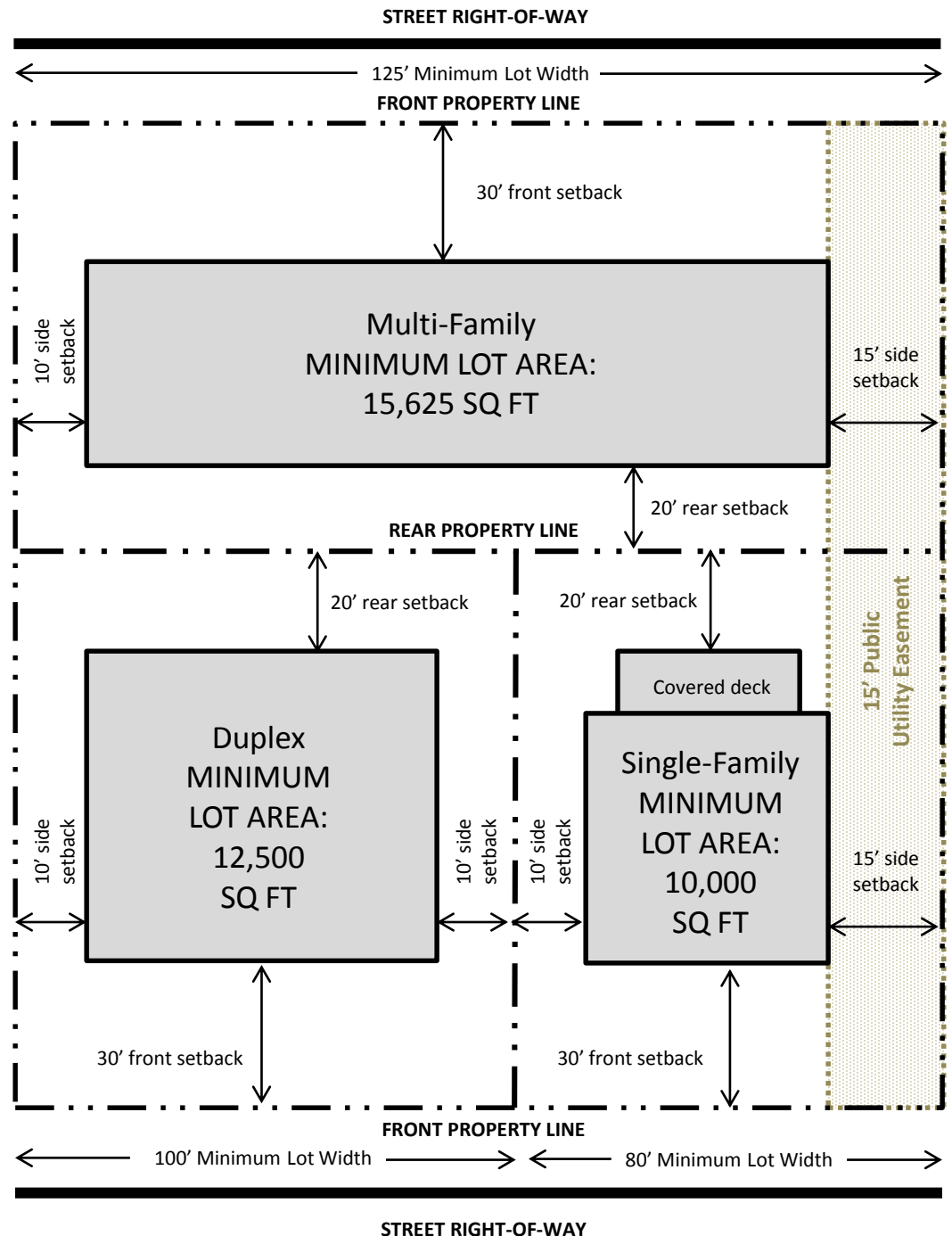


STREET RIGHT-OF-WAY

Multi-Family Residential (R-3)

Setback Drawing and Lot Requirements

Minimum Lot Area	
Single-Family	10,000 sq. ft.
Duplex	12,500 sq. ft.
Multi-Family	15,625 sq. ft.
Minimum Lot Width	
Single Family	80 ft.
Duplex	100 ft.
Multi-Family	125 ft.
All corner lots	125 ft.
*All structures in this district are required to be located on the lot with the front of the structure facing the front lot line	
Setback Requirements (Main Structure)	
Front	30 ft. or more from any street right-of-way (See ordinance for setback averaging requirements)
Side	Greatest of 10 ft. or easement width
Rear	20 ft.
Height	35 ft.
Setback Requirements (Accessory Structure)	
Front	30 ft.
Side	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	<ul style="list-style-type: none"> No more than one story high if within 10 ft. of any property line Not to exceed the main structure in height
Other	
Sidewalks and curb and gutter are required on both sides of the public streets for all new streets and for all multifamily residential development	



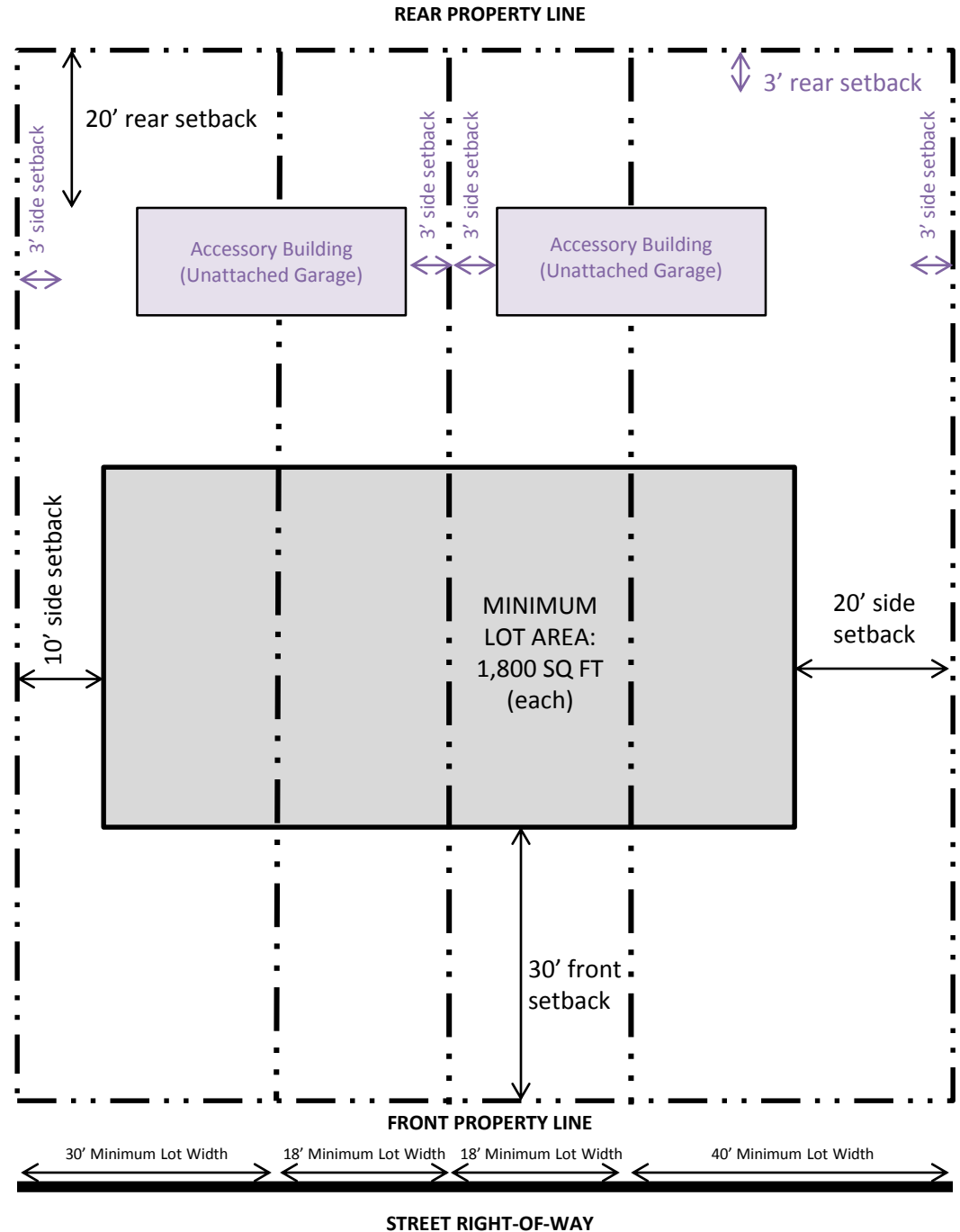
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Townhomes (in permitted districts)

Drawing and Lot Requirements

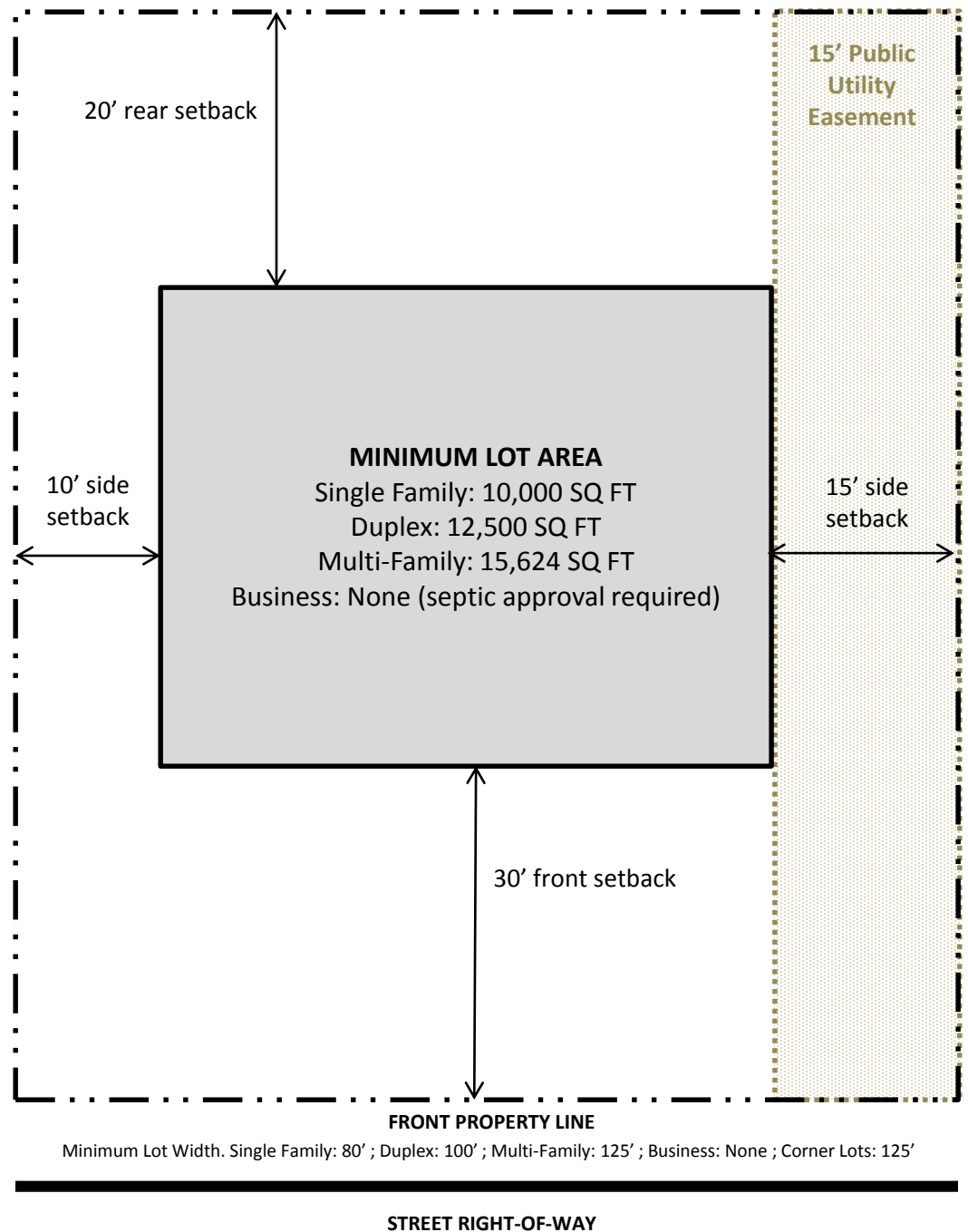
Minimum Lot Area	
Townhouse	1,800 sq. ft.
Maximum Density: ten units per gross acre	
Minimum Lot Width	
Interior Lot	18 ft.
End Lot	30 ft.
Corner Lot	40 ft.
Setback Requirements (Main Structure)	
Front*	30 ft. or more from any street right-of-way (See ordinance for setback averaging requirements)
Side	Interior Lot: 0 ft. End Lot: 10 ft. Corner Lot (not adjoining a side street): 20 ft.
Rear**	20 ft.
Height	35 ft.
* The full facades of individual townhouse units within a townhouse group structure are required to be varied by changed front yard setbacks and variations in materials or designs so that no more than two abutting townhouses will have the same front yard setback. Variation in setback are required to be at least three feet.	
** Rear yards are to be screened with a privacy type fence or wall of seven feet minimum height and extending not less than 12 feet from the rear building wall.	
Setback Requirements (Accessory Structure)	
Size	100 sq. ft.
Front	30 ft.
Side	Greatest of 3 ft. or easement width
Rear	Greatest of 3 ft. or easement width
Height	12 ft.

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Mixed Use: Residential-Limited Business (MU-1)
and Mixed Use: Residential-Limited Business-
Limited Industrial (MU-2)
Setback Drawing and Lot Requirements

Minimum Lot Area	
Single-Family	10,000 sq. ft.
Duplex	12,500 sq. ft.
Multi-Family	15,625 sq. ft.
Business	None (septic approval required)
Minimum Frontage	
Single Family	80 ft.
Duplex	100 ft.
Multi-Family	125 ft.
Business	None
All corner lots	125 ft.
Setback Requirements	
Front	30 ft.
Side	Greatest of 10 ft. or easement width Single-Family: 10 ft. from any Residential District All other uses: 20 ft. from any Residential District
Rear	20 ft.
Height	35 ft.
Other	
Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.	

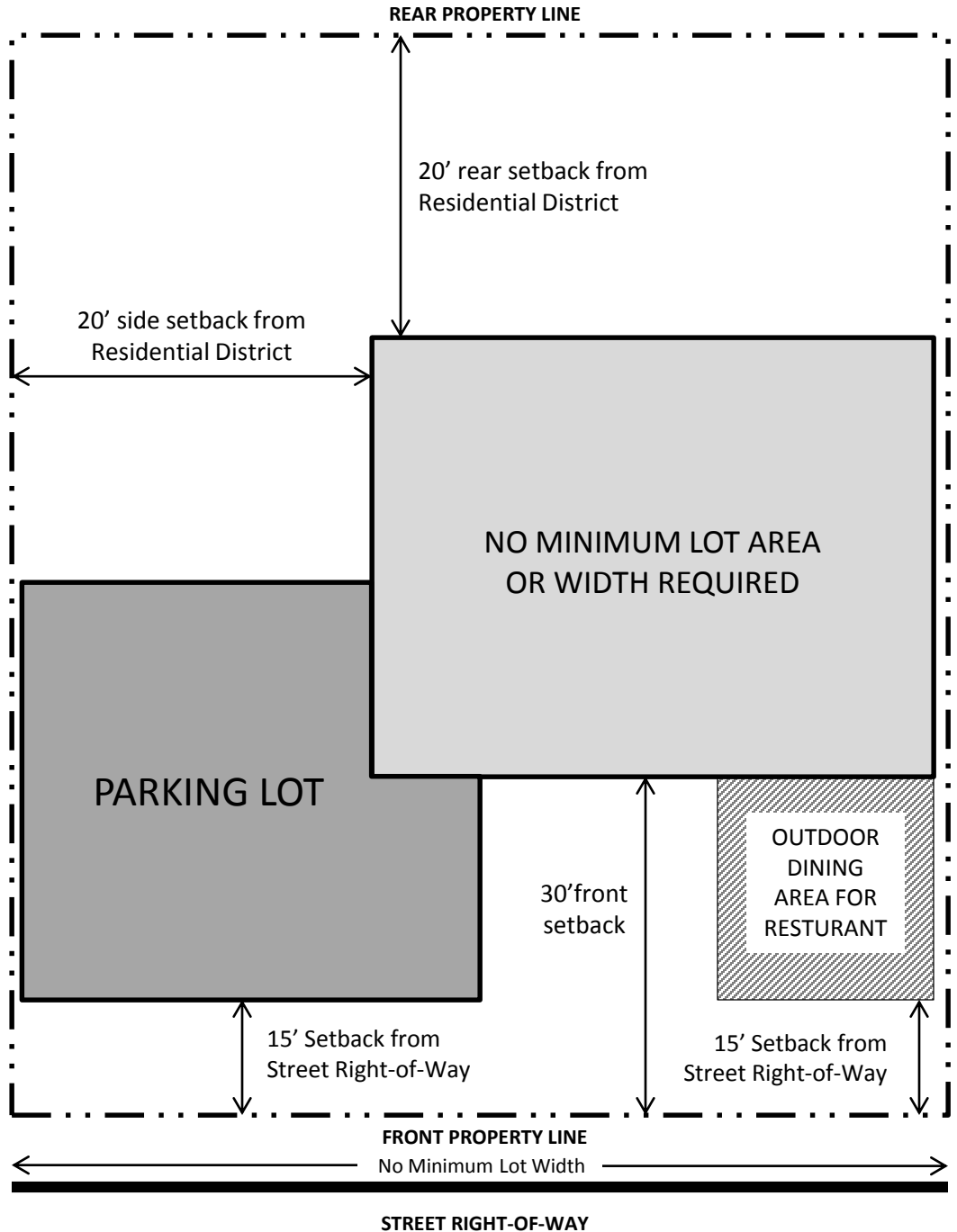


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Limited Business (B-1)

Setback Drawing and Lot Requirements

Minimum Lot Area	
There is no minimum lot area or width required in the B-1 District. The only exception is for permitted uses utilizing individual sewage disposal systems. The health official is required to approve the use of the required area.	
Minimum Frontage	
None	
Setback Requirements	
Front	30 ft.
Side	20 ft. from any Residential District
Rear	20 ft. from Residential District or easement width
Parking Lot	15 ft. from any street right-of-way
Restaurant Outdoor Dining Area	15 ft. from any street right-of-way
Height	35 ft.
Other	
Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.	



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Central Business (B-2)

Setback Drawing and Lot Requirements

Minimum Lot Area

There is no minimum lot area or width required in the B-2 District. The only exceptions are as follows:

- The health official is required to approve permitted uses utilizing individual sewage disposal systems the required area
- Townhomes cannot exceed a density of 20 dwelling units per acre
- Multi-family dwellings not exceed a density of 30 dwelling units per acre

Minimum Frontage

None

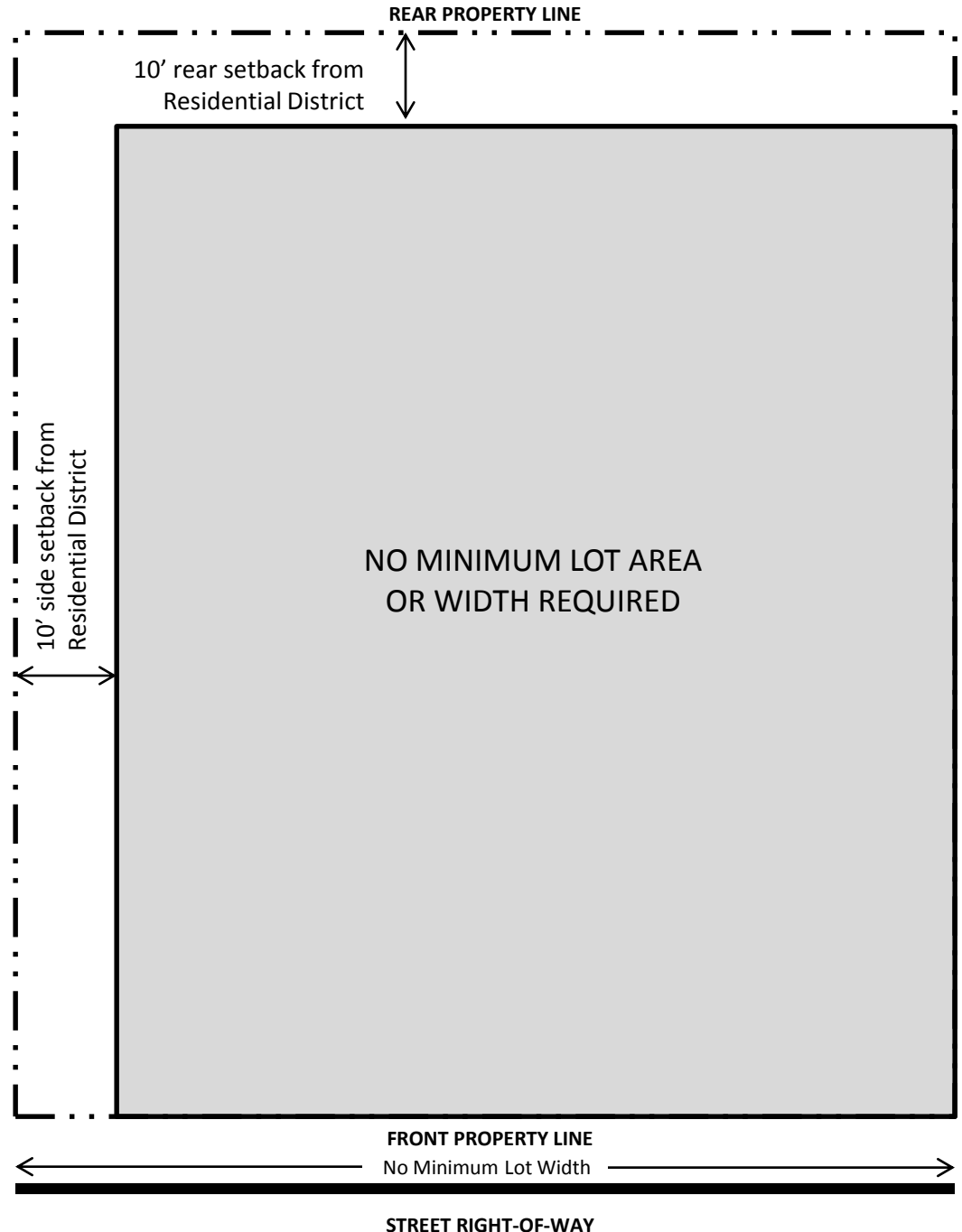
Setback Requirements

Front	10 ft. from any Residential District or easement width
Side	10 ft. from any Residential District or easement width
Rear	10 ft. from any Residential District or easement width
Height	Structures greater than 70 ft. require a CUP

Other

Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.

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General Business (B-3)

Setback Drawing and Lot Requirements

Minimum Lot Area

There is no minimum lot area or width required in the B-3 District. The only exceptions are as follows:

- For permitted uses utilizing individual sewage disposal systems the required area be approved by the health official
- Residential uses are required to comply with the proper lot area and width of the R-3 Multi-family Residential District

Minimum Frontage

None; provided vehicular or pedestrian access is provided to a public street right-of-way through a perpetual unobstructed paved easement or parking of at least 30 feet in width for vehicular access or ten feet in width for pedestrian access

Setback Requirements

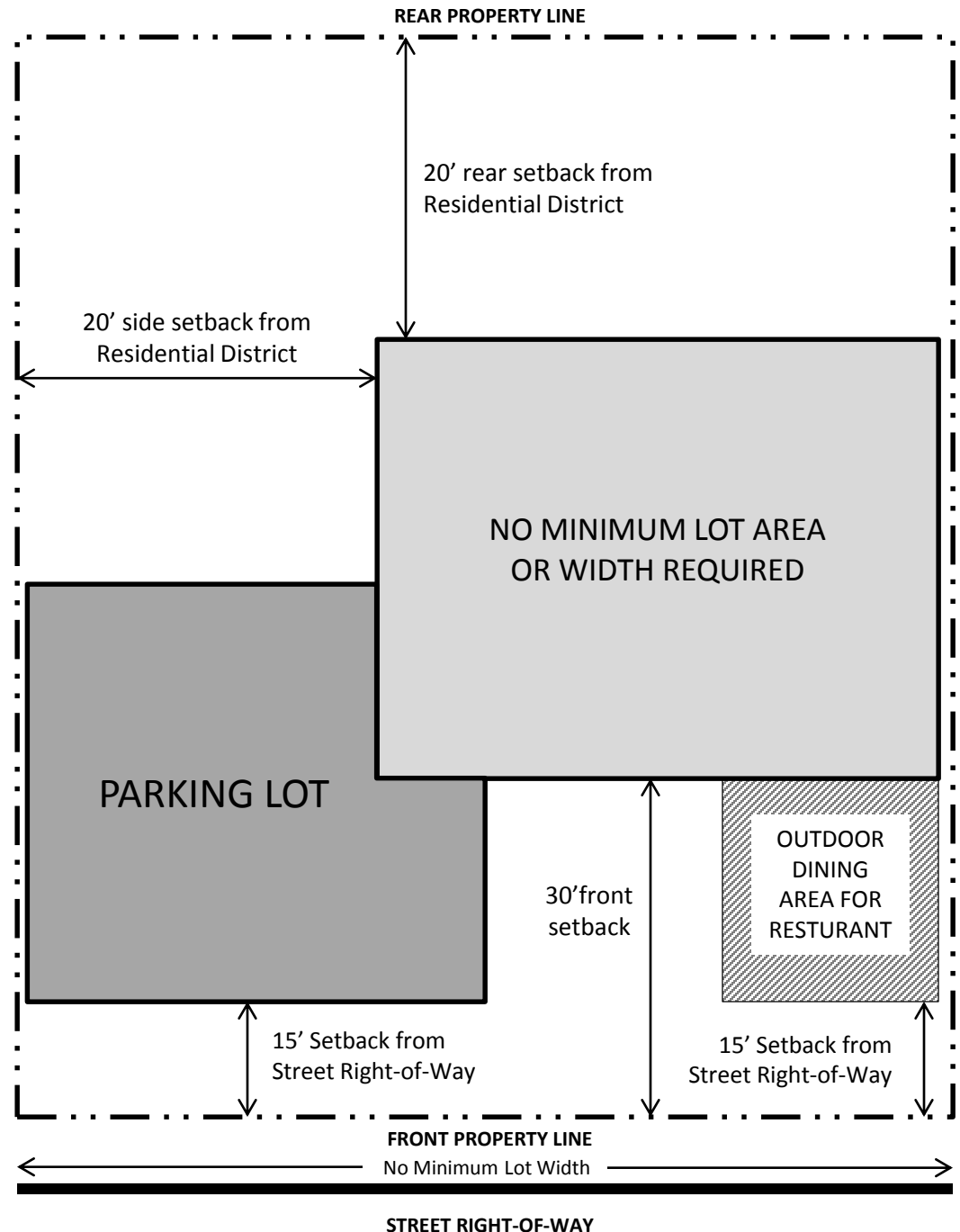
Front	30 ft.
Side	20 ft. from any Residential District
Rear	20 ft. from Residential District or easement width
Parking Lot	15 ft. from any street right-of-way
Restaurant Outdoor Dining Area	15 ft. from any street right-of-way
Height	35 ft. (height limit may be increased up to 70 ft., with proper changes to setback requirements)
Other	10 ft. minimum building setback from common area

Other

A minimum of 20 percent of the site is required to be reserved for greenspace landscaping with no more than 50 percent of the greenspace in grass alone. The greenspace is required to contain trees with a minimum height, at time of planting, of six feet or more at the ratio of one tree per 400 square feet or less of greenspace area. Such greenspace is to be distributed uniformly around the perimeter of the site or distributed throughout the parking and pedestrian areas.

Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.

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FRONT PROPERTY LINE

No Minimum Lot Width

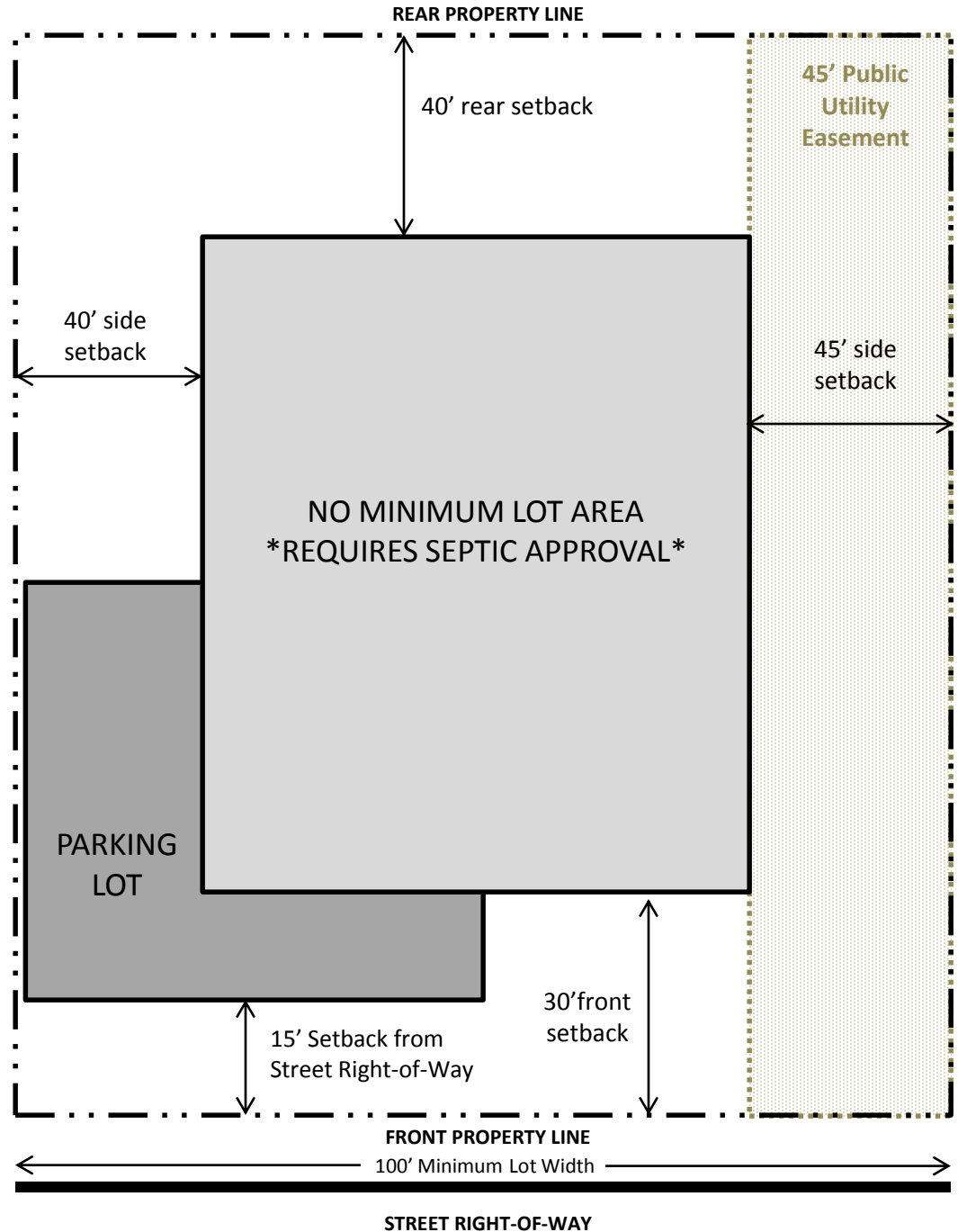
STREET RIGHT-OF-WAY

Limited Industrial (I-1)

Setback Drawing and Lot Requirements

Minimum Lot Area	
None other than septic approval	
Minimum Frontage	
100 ft.	
Setback Requirements	
Front	30 ft.
Side	40 ft.
Rear	40 ft.
Parking Lots and Restaurant Outdoor Dining Areas	15 ft. from any street right-of-way
Height	35 ft.
Building or structure are required to be located closer than 40 ft. to the boundary of a residential district.	
Residential development is required to comply with all frontage, lot, yard and development standards for similar development in the R-3 Multiple-Family Residential District, unless such dwelling is part of the industrial building or structure	
Other	
Any part of the required front yard not used for parking or accessways be landscaped with grass, trees, shrubs, or pedestrian walks.	
Front yard to required contain a minimum of 20 percent greenspace or landscaped area	
Impervious surfaces may cover up to 80 percent of the area of the lot.	

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General Industrial (I-2)

Setback Drawing and Lot Requirements

Minimum Lot Area	
None other than septic approval	
Minimum Frontage	
None	
Residential development are required to comply with all frontage, lot, yard and development standards for similar development in the R-3 Multiple-Family Residential District, unless such dwelling is part of the industrial building or structure.	
Setback Requirements	
Front	30 ft.
Side	40 ft. from any Residential District
Rear	40 ft. from any Residential District
Parking Lots and Restaurant Outdoor Dining Areas	15 ft. from any street right-of-way
Height	70 ft. (higher requires CUP)
Other	
Front yard is required to contain a minimum of 20 percent greenspace or landscaped area	
Landscaping may be permitted up to a height of three feet and to within 50 ft. of the corner of any intersecting streets.	
Impervious surfaces may cover up to 80 percent of the area of the lot.	

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