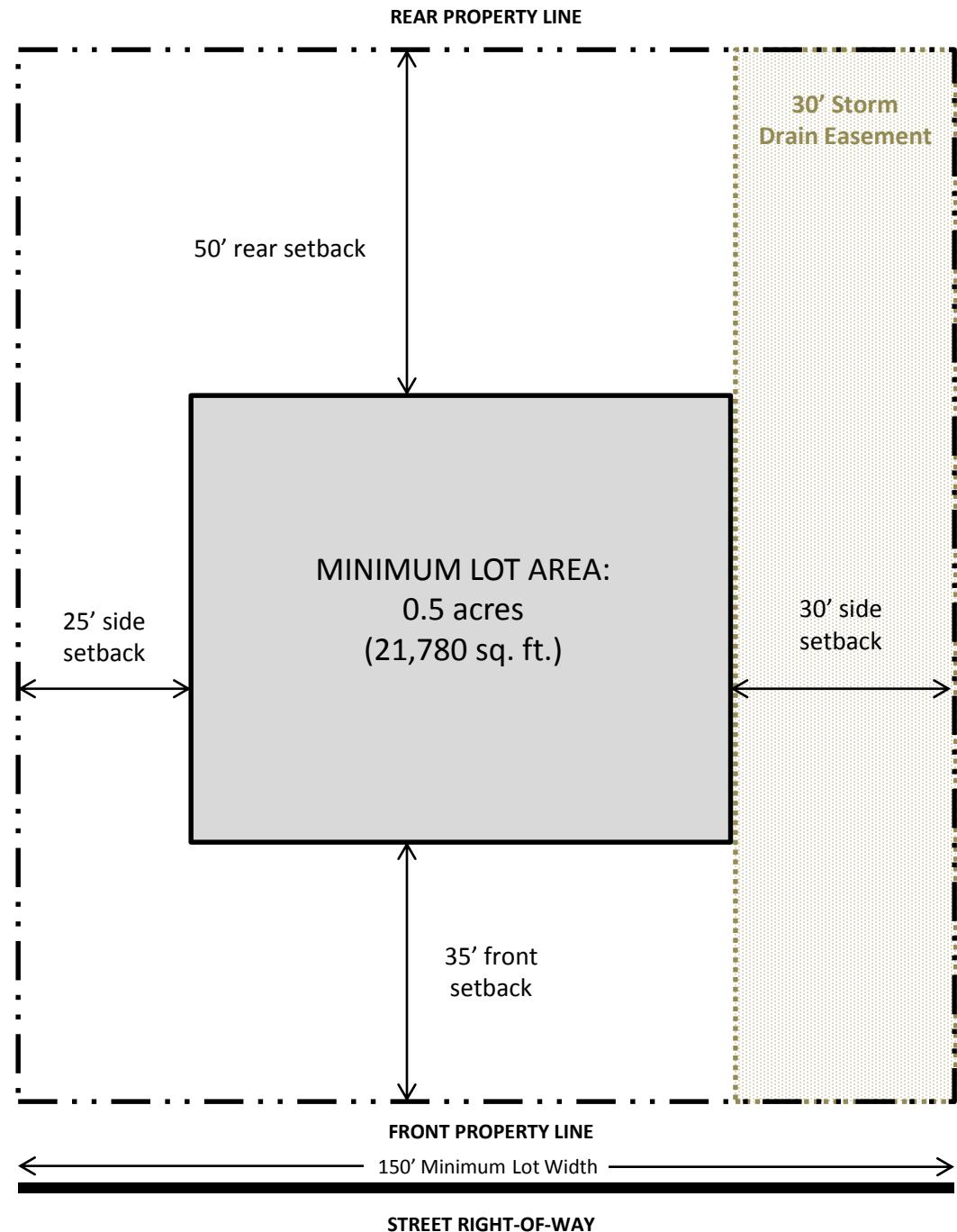


# Agriculture (A)

## Setback Drawing and Lot Requirements

| Minimum Lot Area                           |   |
|--|---|
| 0.5 acres (21,780 sq. ft.)                 |   |
| Minimum Frontage                           |   |
| 150 ft.                                    |   |
| Setback Requirements (Main Structure)      |   |
| Front                                      | 35 ft.  |
| Side                                       | Greatest of 25 ft. or easement width                              |
| Rear                                       | 50 ft.  |
| Height                                     | 35 ft.  |
| Setback Requirements (Accessory Structure) |   |
| Front                                      | 35 ft.  |
| Side                                       | Greatest of 3 ft. or easement width                               |
| Rear                                       | Greatest of 3 ft. or easement width                               |
| Height                                     | No more than one story high if within 20 ft. of any property line |

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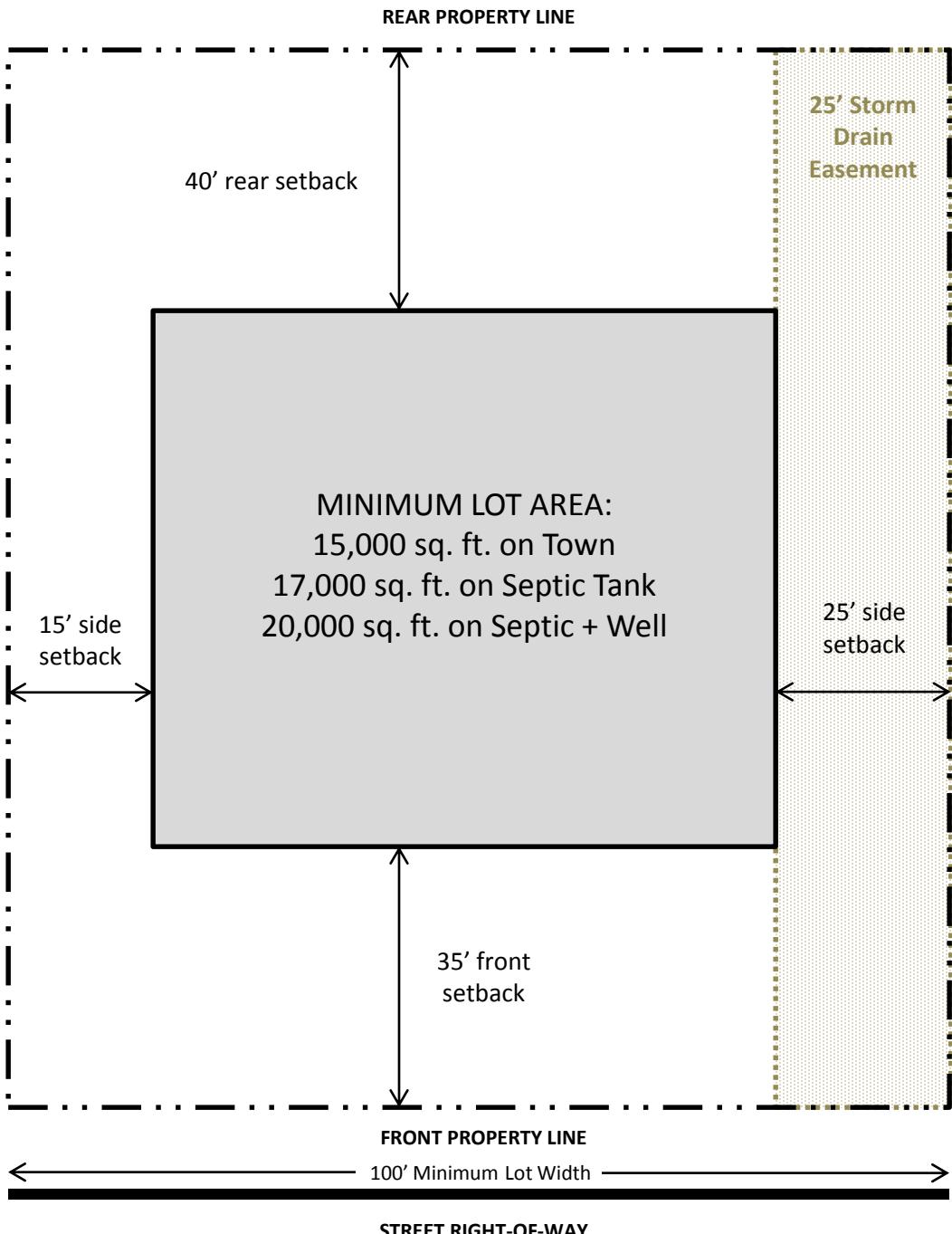


# Rural Residential (R1-A )

## Setback Drawing and Lot Requirements

| Minimum Lot Area  |  |
|---|--|
| On Town Sewer/Water   | 15,000 sq. ft.                             |
| On Septic Tank  | 17,000 sq. ft.                             |
| On Septic + Well  | 20,000 sq. ft.                             |
| Minimum Frontage  |  |
| Standard Lots   | 100 ft.                                    |
| All Corner Lots   | 125 ft.                                    |
| Setback Requirements (Main Structure)   |  |
| Front   | 35 ft.                                     |
| Side  | Greatest of 15 ft. or easement width       |
| Rear  | 40 ft.                                     |
| Height  | 35 ft.                                     |
| Setback Requirements (Accessory Structure)  |  |
| Front   | 35 ft.                                     |
| Side  | Greatest of 3 ft. or easement width        |
| Rear  | Greatest of 3 ft. or easement width        |
| Height  | Not to exceed the main structure in height |
| Other   |  |
| Sidewalks and curb and gutter are required on both sides of the public streets for all new streets. |  |

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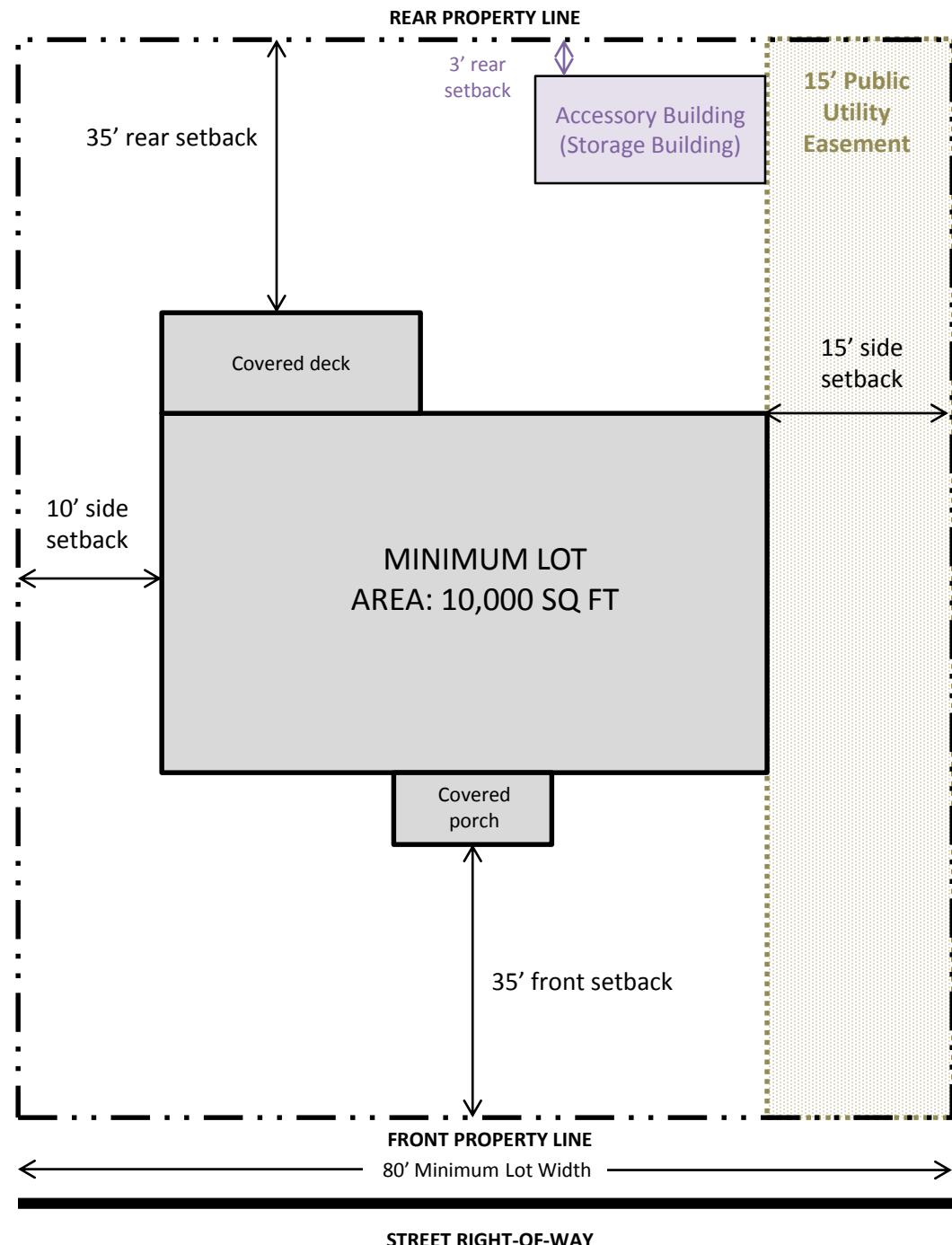


# Single-Family Residential (R-1 )

## Setback Drawing and Lot Requirements

| Minimum Lot Area  |   |
|---|---|
| Single Family   | 10,000 sq. ft.  |
| Minimum Lot Width   |   |
| Single Family   | 80 ft.  |
| All corner lots   | 125 ft.   |
| *All structures in this district are to be located on the lot with the front of the structure facing the front lot line |   |
| Setback Requirements (Main Structure)   |   |
| Front   | 35 ft. or more from any street right-of-way<br>(See ordinance for setback averaging requirements)   |
| Sides   | Greatest of 10 ft. or easement width  |
| Rear  | 35 ft.  |
| Height  | 35 ft.  |
| Parking Lots  | Minimum of 15 ft. from any street right-of-way  |
| Setback Requirements (Accessory Structure)  |   |
| Front   | 35 ft.  |
| Sides   | Greatest of 3 ft. or easement width   |
| Rear  | Greatest of 3 ft. or easement width   |
| Height  | <ul style="list-style-type: none"> <li>No more than one story high if within 20 ft. of any property line</li> <li>Not to exceed the main structure in height</li> </ul> |
| Other   |   |
| Sidewalks and curb and gutter are required on both sides of the public streets for all new streets.                     |   |

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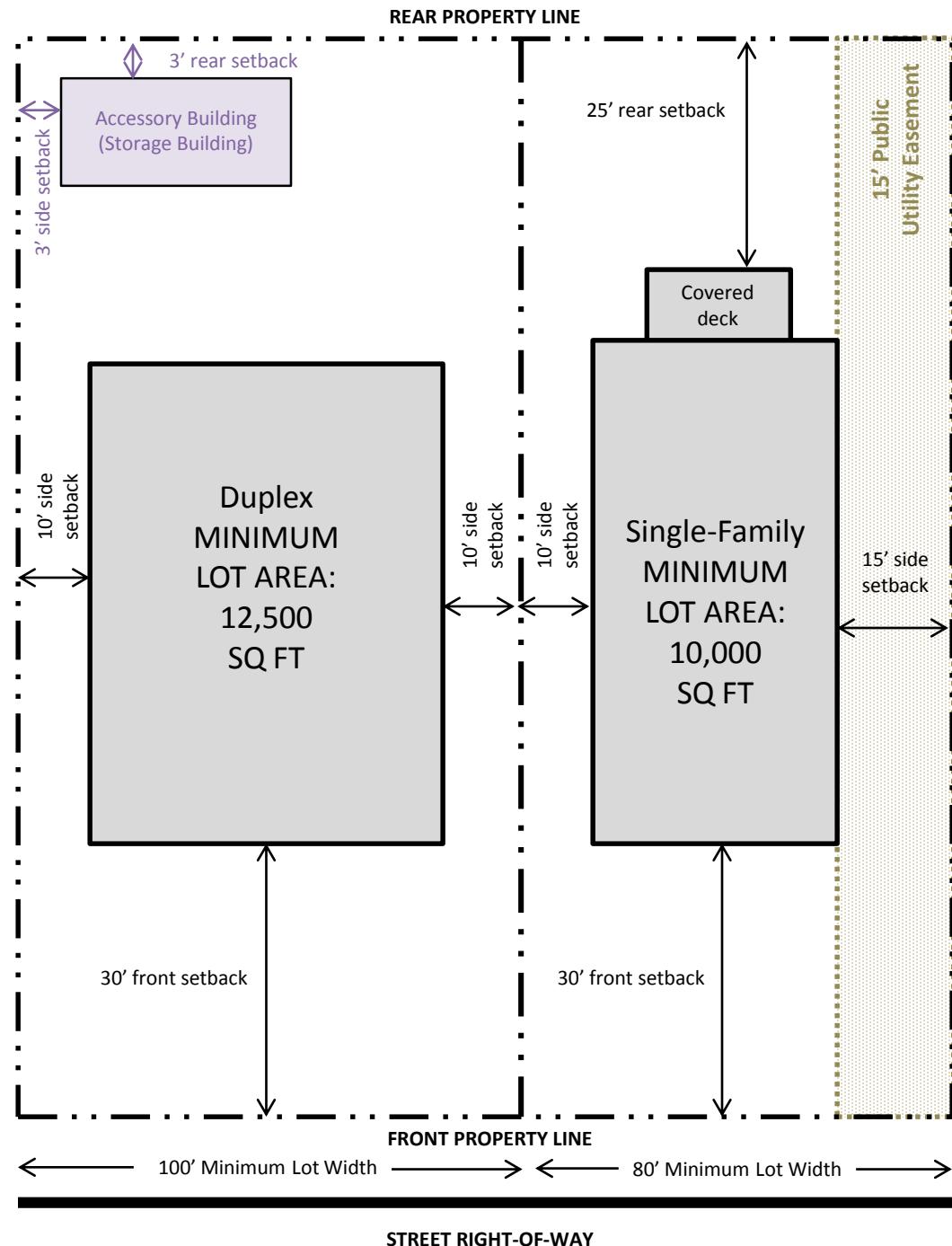


# Two-Family Residential (R-2 )

## Setback Drawing and Lot Requirements

| Minimum Lot Area  |   |
|---|---|
| Single-Family   | 10,000 sq. ft.  |
| Duplex  | 12,500 sq. ft.  |
| Minimum Lot Width   |   |
| Single Family   | 80 ft.  |
| Duplex  | 100 ft.   |
| All corner lots   | 125 ft.   |
| *All structures in this district are to be located on the lot with the front of the structure facing the front lot line |   |
| Setback Requirements (Main Structure)   |   |
| Front   | 30 ft. or more from any street right-of-way<br>(See ordinance for setback averaging requirements)   |
| Side  | Greatest of 10 ft. or easement width  |
| Rear  | 25 ft.  |
| Height  | 35 ft.  |
| Setback Requirements (Accessory Structure)  |   |
| Front   | 30 ft.  |
| Side  | Greatest of 3 ft. or easement width   |
| Rear  | Greatest of 3 ft. or easement width   |
| Height  | <ul style="list-style-type: none"> <li>No more than one story high if within 20 ft. of any property line</li> <li>Not to exceed the main structure in height</li> </ul> |
| Other   |   |
| Sidewalks and curb and gutter are required on both sides of the public streets for all new streets.                     |   |

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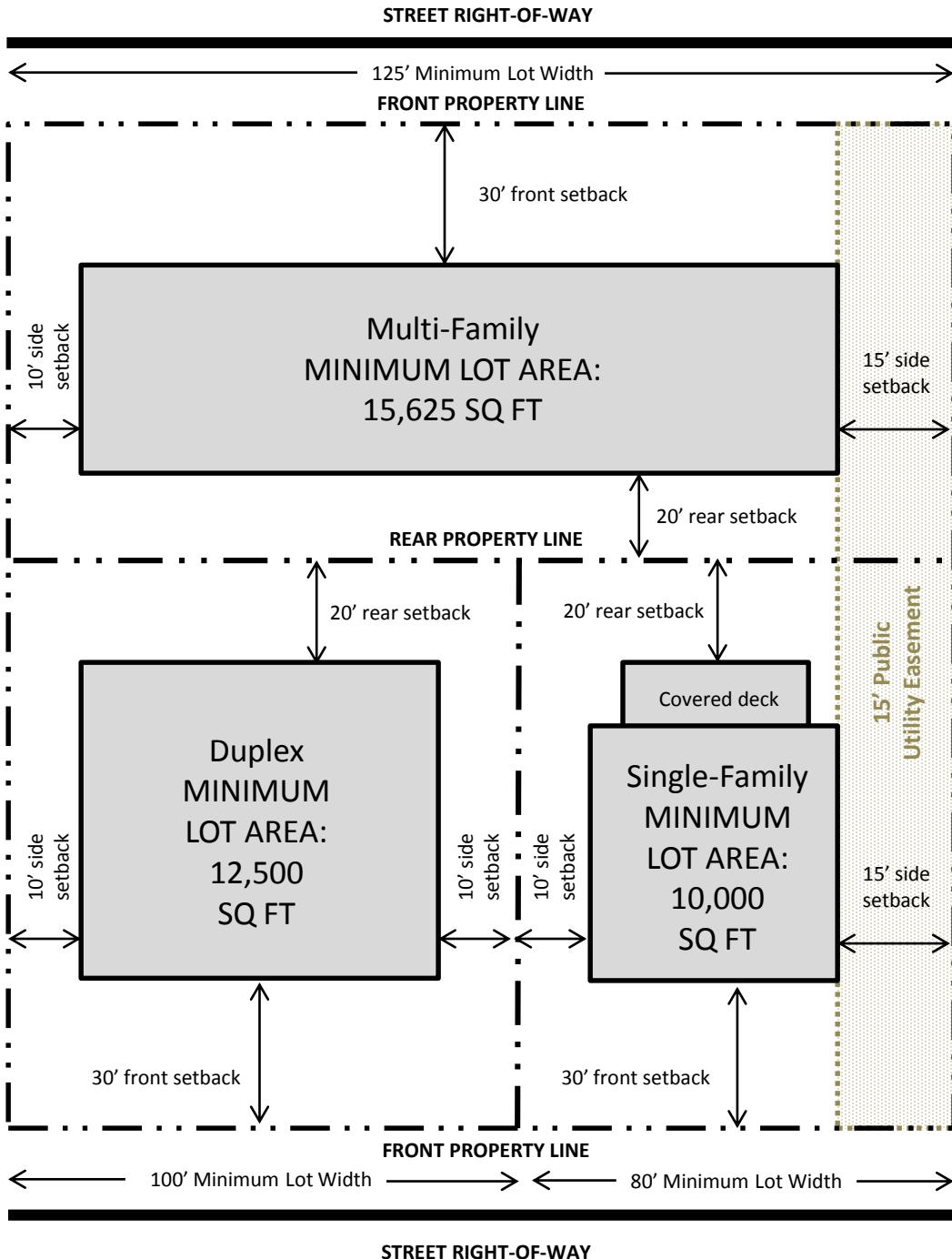


# Multi-Family Residential (R-3 )

## Setback Drawing and Lot Requirements

| Minimum Lot Area   |   |
|--|---|
| Single-Family  | 10,000 sq. ft.  |
| Duplex   | 12,500 sq. ft.  |
| Multi-Family   | 15,625 sq. ft.  |
| Minimum Lot Width  |   |
| Single Family  | 80 ft.  |
| Duplex   | 100 ft.   |
| Multi-Family   | 125 ft.   |
| All corner lots  | 125 ft.   |
| *All structures in this district are required to be located on the lot with the front of the structure facing the front lot line                   |   |
| Setback Requirements (Main Structure)  |   |
| Front  | 30 ft. or more from any street right-of-way<br>(See ordinance for setback averaging requirements)   |
| Side   | Greatest of 10 ft. or easement width  |
| Rear   | 20 ft.  |
| Height   | 35 ft.  |
| Setback Requirements (Accessory Structure)   |   |
| Front  | 30 ft.  |
| Side   | Greatest of 3 ft. or easement width   |
| Rear   | Greatest of 3 ft. or easement width   |
| Height   | <ul style="list-style-type: none"> <li>No more than one story high if within 10 ft. of any property line</li> <li>Not to exceed the main structure in height</li> </ul> |
| Other  |   |
| Sidewalks and curb and gutter are required on both sides of the public streets for all new streets and for all multifamily residential development |   |

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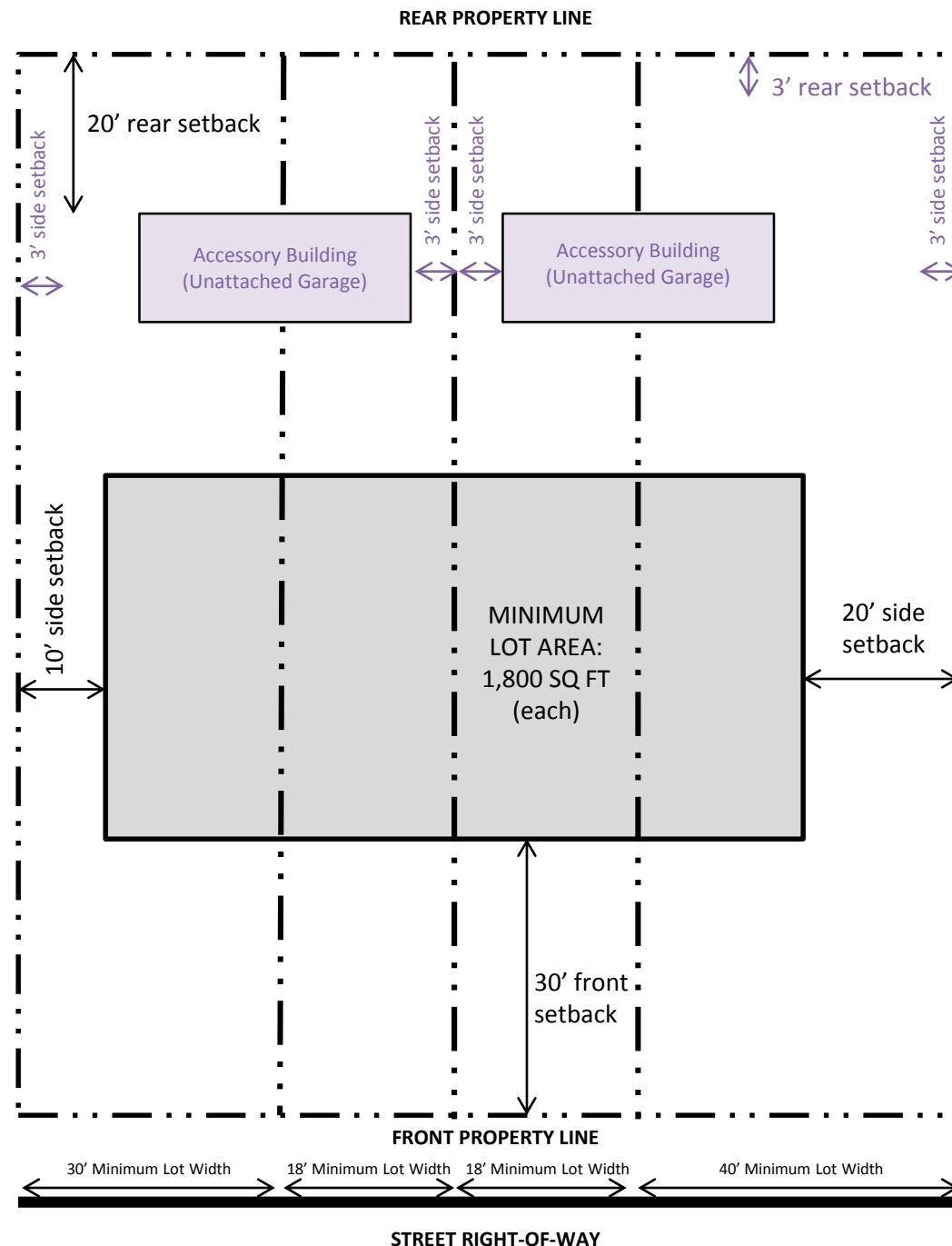


## Townhomes (in permitted districts)

## Drawing and Lot Requirements

| Minimum Lot Area   |  |
|--|--|
| Townhouse  | 1,800 sq. ft.  |
| Maximum Density: ten units per gross acre  |  |
| Minimum Lot Width  |  |
| Interior Lot   | 18 ft.   |
| End Lot  | 30 ft.   |
| Corner Lot   | 40 ft.   |
| Setback Requirements (Main Structure)  |  |
| Front*   | 30 ft. or more from any street right-of-way (See ordinance for setback averaging requirements) |
| Side   | Interior Lot: 0 ft.<br>End Lot: 10 ft.<br>Corner Lot (not adjoining a side street): 20 ft.     |
| Rear**   | 20 ft.   |
| Height   | 35 ft.   |
| * The full facades of individual townhouse units within a townhouse group structure are required to be varied by changed front yard setbacks and variations in materials or designs so that no more than two abutting townhouses will have the same front yard setback. Variation in setback are required to be at least three feet. |  |
| ** Rear yards are to be screened with a privacy type fence or wall of seven feet minimum height and extending not less than 12 feet from the rear building wall.   |  |
| Setback Requirements (Accessory Structure)   |  |
| Size   | 100 sq. ft.  |
| Front  | 30 ft.   |
| Side   | Greatest of 3 ft. or easement width  |
| Rear   | Greatest of 3 ft. or easement width  |
| Height   | 12 ft.   |

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**Mixed Use: Residential-Limited Business (MU-1)  
and Mixed Use: Residential-Limited Business-Limited Industrial (MU-2)  
Setback Drawing and Lot Requirements**

| <b>Minimum Lot Area</b> |                                 |
|-------------------------|---------------------------------|
| Single-Family           | 10,000 sq. ft.                  |
| Duplex                  | 12,500 sq. ft.                  |
| Multi-Family            | 15,625 sq. ft.                  |
| Business                | None (septic approval required) |

| <b>Minimum Frontage</b> |         |
|-------------------------|---------|
| Single Family           | 80 ft.  |
| Duplex                  | 100 ft. |
| Multi-Family            | 125 ft. |
| Business                | None    |
| All corner lots         | 125 ft. |

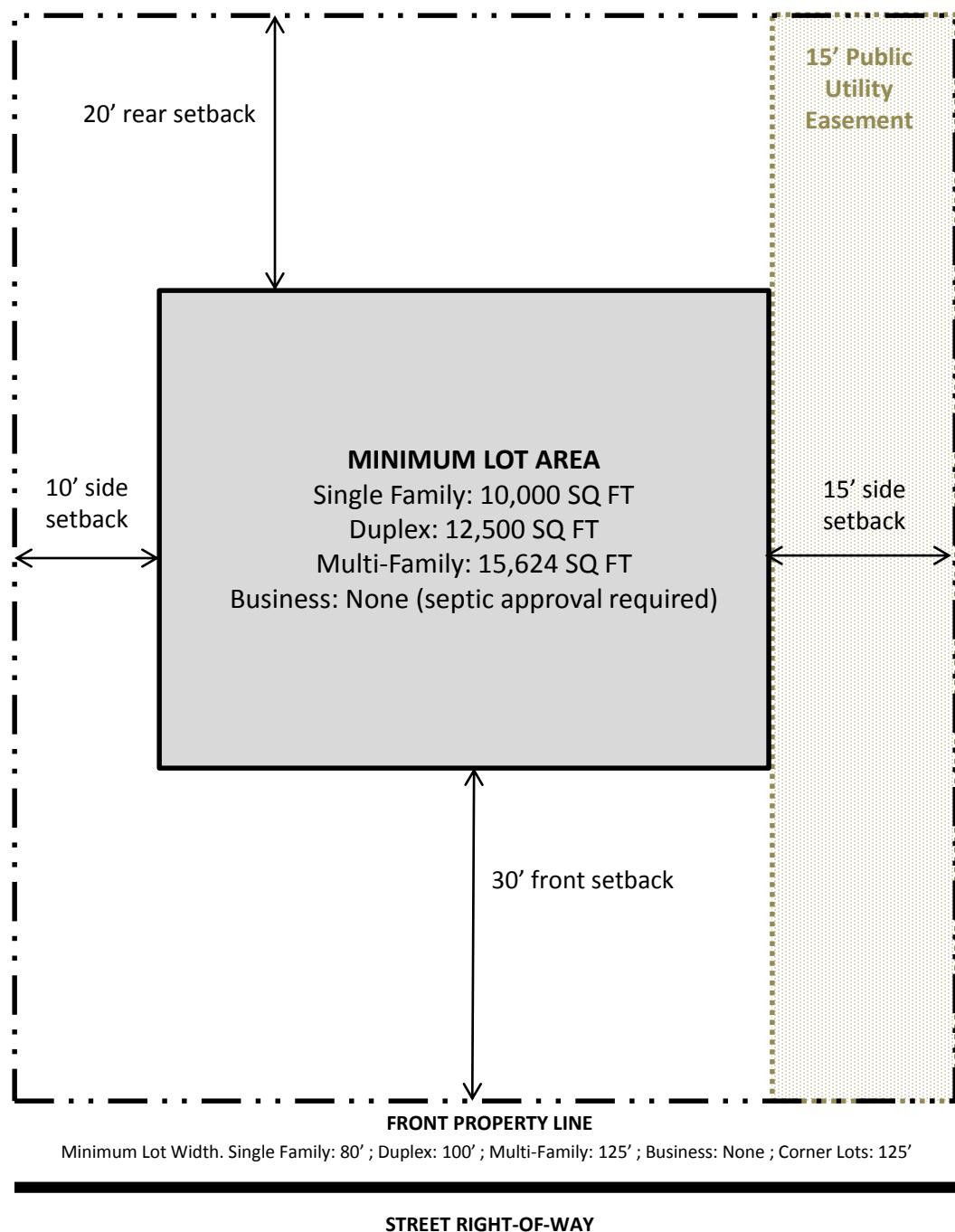
  

| <b>Setback Requirements</b> |   |
|-----------------------------|---|
| Front                       | 30 ft.  |
| Side                        | Greatest of 10 ft. or easement width<br>Single-Family: 10 ft. from any Residential District<br>All other uses: 20 ft. from any Residential District |
| Rear                        | 20 ft.  |
| Height                      | 35 ft.  |

| <b>Other</b>  |  |
|---|--|
| Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued. |  |

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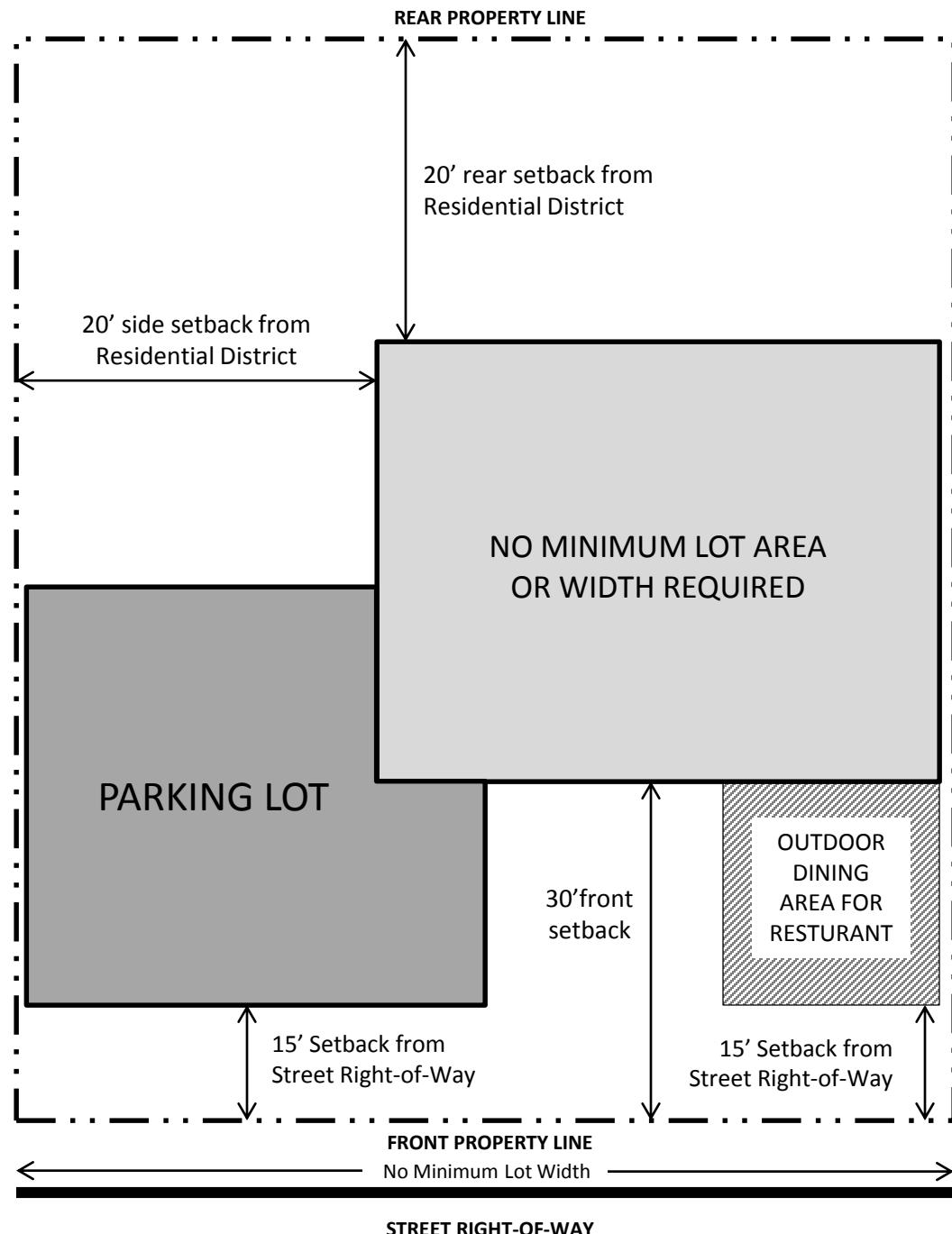


# Limited Business (B-1 )

## Setback Drawing and Lot Requirements

| Minimum Lot Area  |  |
|---|--|
| There is no minimum lot area or width required in the B-1 District. The only exception is for permitted uses utilizing individual sewage disposal systems. The health official is required to approve the use of the required area.                   |  |
| Minimum Frontage  |  |
| None  |  |
| Setback Requirements  |  |
| Front   | 30 ft.   |
| Side  | 20 ft. from any Residential District               |
| Rear  | 20 ft. from Residential District or easement width |
| Parking Lot   | 15 ft. from any street right-of-way                |
| Restaurant Outdoor Dining Area  | 15 ft. from any street right-of-way                |
| Height  | 35 ft.   |
| Other   |  |
| Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued. |  |

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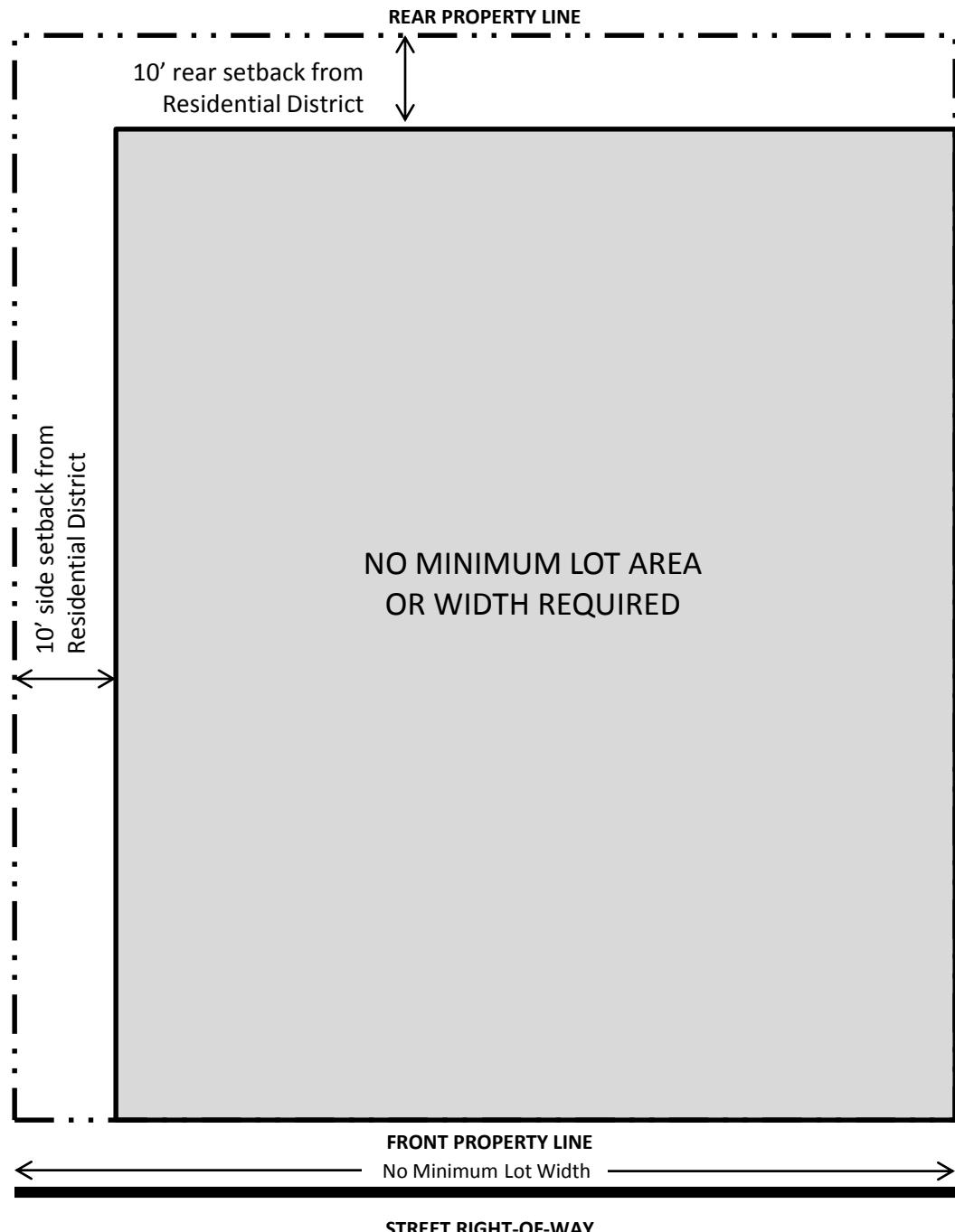


# Central Business (B-2)

## Setback Drawing and Lot Requirements

| Minimum Lot Area   |  |
|--|--|
| <p>There is no minimum lot area or width required in the B-2 District. The only exceptions are as follows:</p>   |  |
| <ul style="list-style-type: none"><li>▪ The health official is required to approve permitted uses utilizing individual sewage disposal systems the required area</li><li>▪ Townhomes cannot exceed a density of 20 dwelling units per acre</li><li>▪ Multi-family dwellings not exceed a density of 30 dwelling units per acre</li></ul> |  |
| Minimum Frontage   |  |
| <p>None</p>  |  |
| Setback Requirements   |  |
| Front  | 10 ft. from any Residential District or easement width |
| Side   | 10 ft. from any Residential District or easement width |
| Rear   | 10 ft. from any Residential District or easement width |
| Height   | Structures greater than 70 ft. require a CUP           |
| Other  |  |
| <p>Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.</p>   |  |

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## General Business (B-3 )

### Setback Drawing and Lot Requirements

#### Minimum Lot Area

There is no minimum lot area or width required in the B-3 District. The only exceptions are as follows:

- For permitted uses utilizing individual sewage disposal systems the required area be approved by the health official
- Residential uses are required to comply with the proper lot area and width of the R-3 Multi-family Residential District

#### Minimum Frontage

None; provided vehicular or pedestrian access is provided to a public street right-of-way through a perpetual unobstructed paved easement or parking of at least 30 feet in width for vehicular access or ten feet in width for pedestrian access

#### Setback Requirements

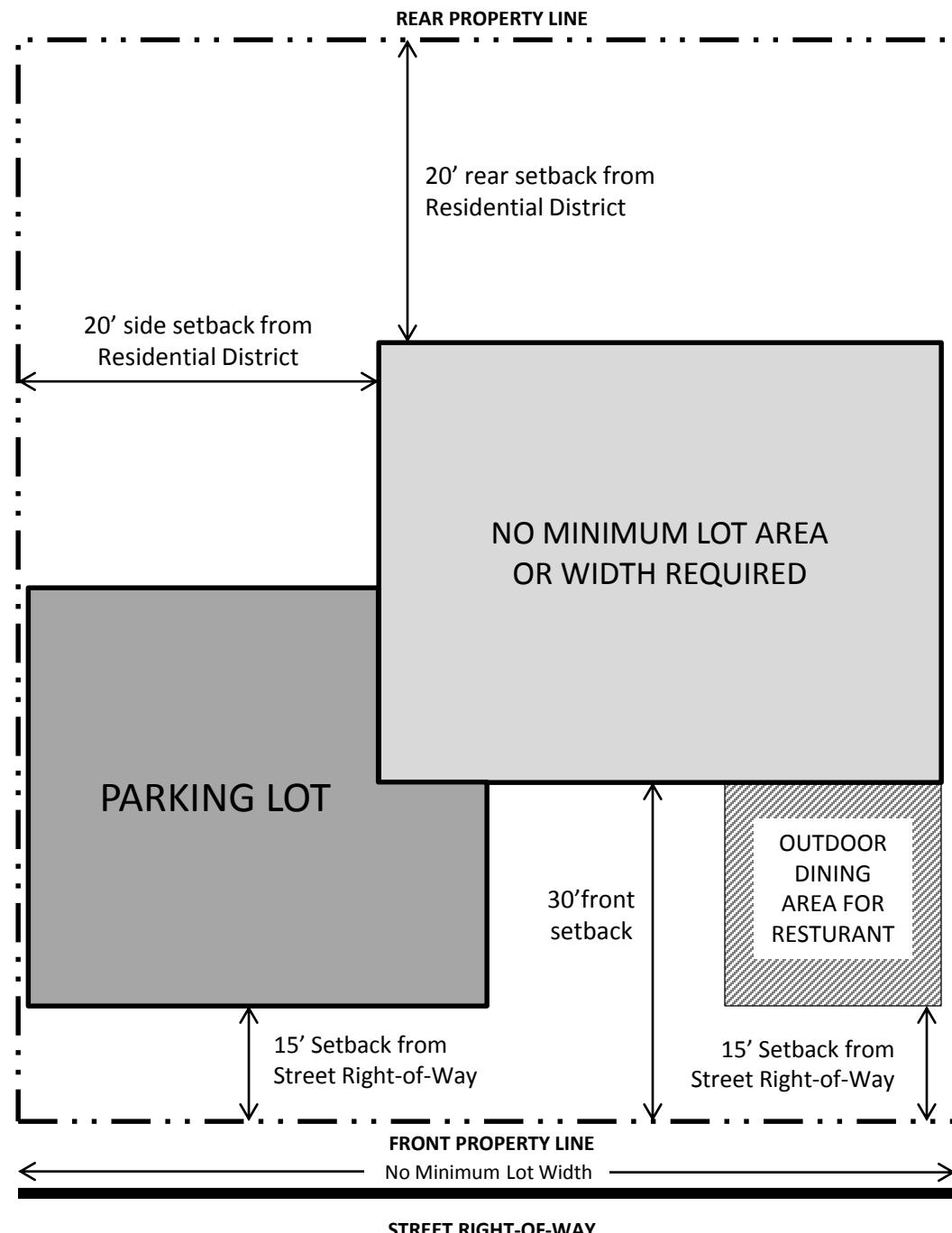
|                                |  |
|--------------------------------|--|
| Front                          | 30 ft.   |
| Side                           | 20 ft. from any Residential District   |
| Rear                           | 20 ft. from Residential District or easement width   |
| Parking Lot                    | 15 ft. from any street right-of-way  |
| Restaurant Outdoor Dining Area | 15 ft. from any street right-of-way  |
| Height                         | 35 ft. (height limit may be increased up to 70 ft., with proper changes to setback requirements) |
| Other                          | 10 ft. minimum building setback from common area   |

#### Other

A minimum of 20 percent of the site is required to be reserved for greenspace landscaping with no more than 50 percent of the greenspace in grass alone. The greenspace is required to contain trees with a minimum height, at time of planting, of six feet or more at the ratio of one tree per 400 square feet or less of greenspace area. Such greenspace is to be distributed uniformly around the perimeter of the site or distributed throughout the parking and pedestrian areas.

Sidewalks are required for all new development or when a new principal building is built or an existing principal building is renovated or expanded sufficiently to increase its value by 25 percent before a certificate of occupancy may be issued.

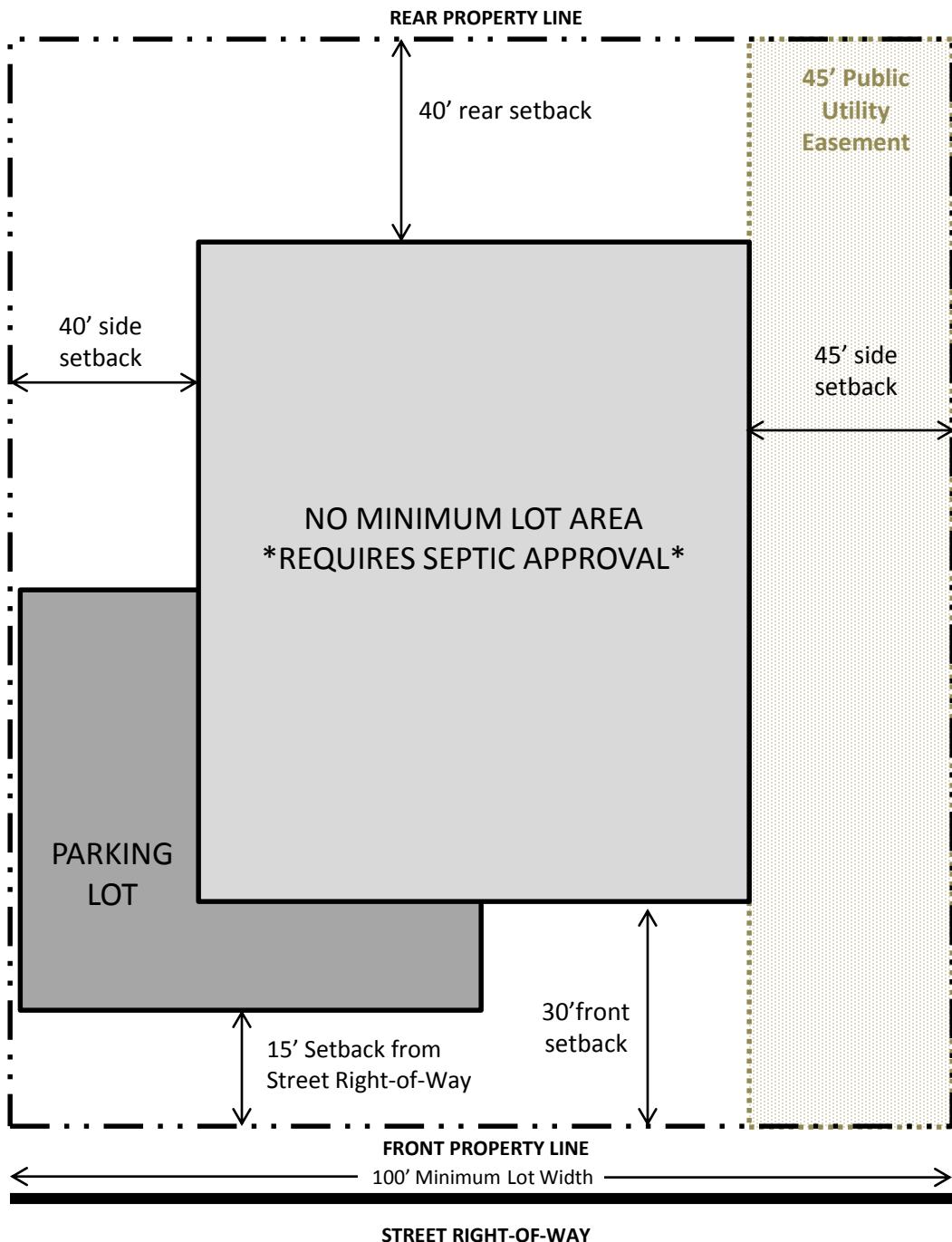
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# Limited Industrial (I-1)

## Setback Drawing and Lot Requirements

| Minimum Lot Area   |                                     |
|--|-------------------------------------|
| None other than septic approval  |                                     |
| Minimum Frontage   |                                     |
| 100 ft.  |                                     |
| Setback Requirements   |                                     |
| Front  | 30 ft.                              |
| Side   | 40 ft.                              |
| Rear   | 40 ft.                              |
| Parking Lots and Restaurant Outdoor Dining Areas   | 15 ft. from any street right-of-way |
| Height   | 35 ft.                              |
| Building or structure are required to be located closer than 40 ft. to the boundary of a residential district.   |                                     |
| Residential development is required to comply with all frontage, lot, yard and development standards for similar development in the R-3 Multiple-Family Residential District, unless such dwelling is part of the industrial building or structure |                                     |
| Other  |                                     |
| Any part of the required front yard not used for parking or accessways be landscaped with grass, trees, shrubs, or pedestrian walks.   |                                     |
| Front yard to required contain a minimum of 20 percent greenspace or landscaped area   |                                     |
| Impervious surfaces may cover up to 80 percent of the area of the lot.   |                                     |



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# General Industrial (I-2)

## Setback Drawing and Lot Requirements

| Minimum Lot Area   |                                      |
|--|--------------------------------------|
| None other than septic approval  |                                      |
| Minimum Frontage   |                                      |
| None   |                                      |
| Residential development are required to comply with all frontage, lot, yard and development standards for similar development in the R-3 Multiple-Family Residential District, unless such dwelling is part of the industrial building or structure. |                                      |
| Setback Requirements   |                                      |
| Front  | 30 ft.                               |
| Side   | 40 ft. from any Residential District |
| Rear   | 40 ft. from any Residential District |
| Parking Lots and Restaurant Outdoor Dining Areas   | 15 ft. from any street right-of-way  |
| Height   | 70 ft. (higher requires CUP)         |
| Other  |                                      |
| Front yard is required to contain a minimum of 20 percent greenspace or landscaped area  |                                      |
| Landscaping may be permitted up to a height of three feet and to within 50 ft. of the corner of any intersecting streets.  |                                      |
| Impervious surfaces may cover up to 80 percent of the area of the lot.   |                                      |

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