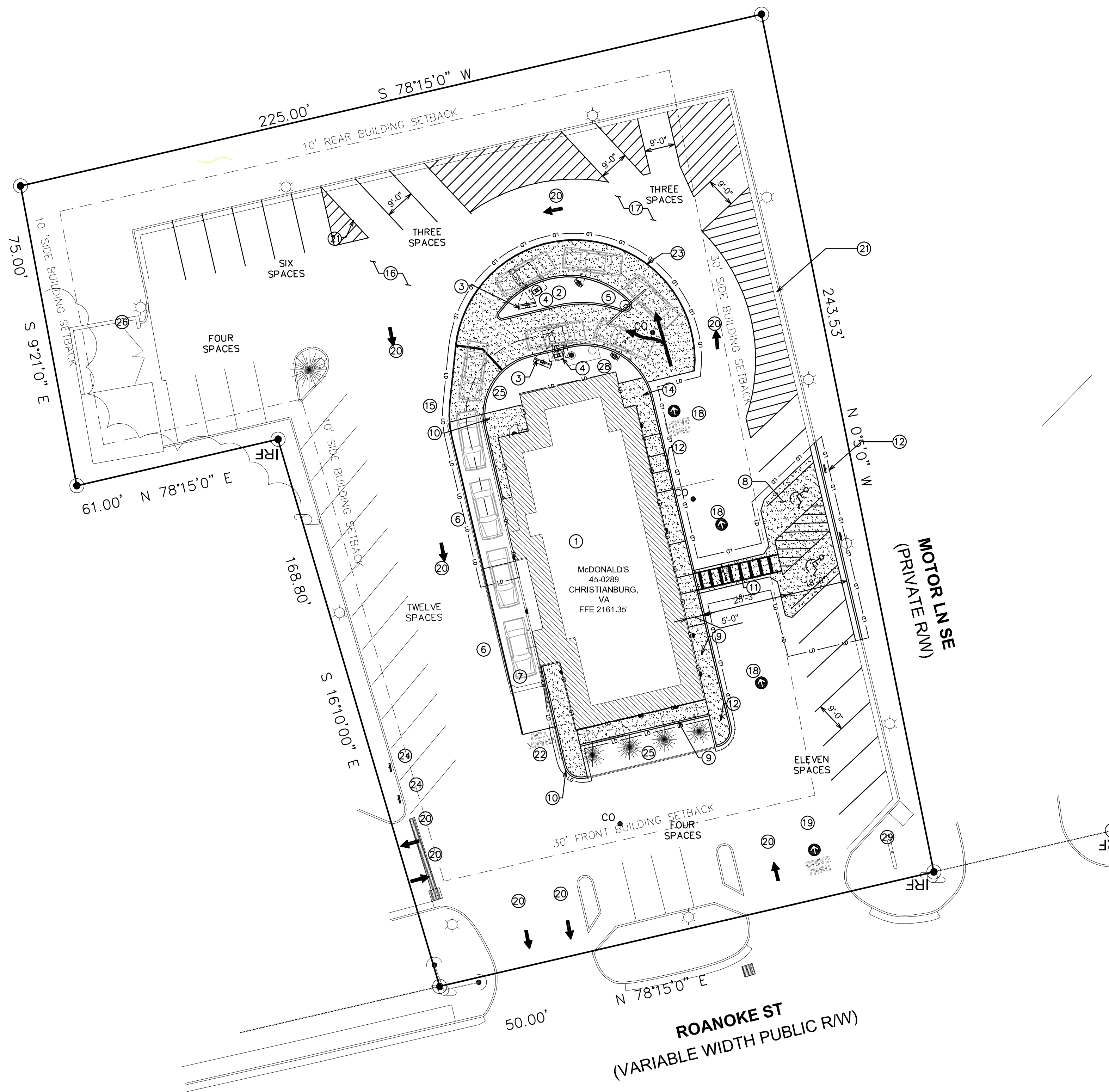
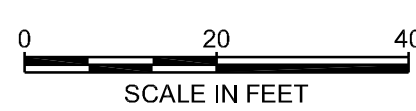


| PROJECT INFORMATION |                                                                                                                            |
|---------------------|----------------------------------------------------------------------------------------------------------------------------|
| ZONING              | TOWN OF CHRISTIANSBURG, VA - ZONED B-3                                                                                     |
| PARKING             | FAST FOOD RESTAURANT: 1 SPACE PER 100 SQUARE FEET OF FLOOR AREA<br>3501 SQ. FT OF FLOOR AREA = 36 SPACES (43 ARE PROVIDED) |
| BUILDING SETBACKS   | FRONT= 30 FEET<br>RIGHT SIDE= 30 FEET<br>LEFT SIDE= 10 FEET<br>REAR= 10 FEET                                               |



SCALE: 1" = 20'-0"



GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT VIRGINIA "ONE CALL" AT 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN TITLE BLOCK

SITE KEY NOTES:

- MODIFIED BUILDING FOOTPRINT WITH INCLUDES CASH BOOTH EXPANSION - SEE BUILDING AND ELEVATION SKETCHES FOR DETAILS
- PROPOSED 2:1 SIDE BY SIDE DRIVE THRU OPTIMIZED AT 97 FT. - CONCRETE PAD AT DRIVE THRU WITH 10' CONTROL JOINTS AND 20' EXPANSION JOINTS OR PER SOILS REPORT. TIE INTO EXISTING PAD TO REMAIN - PAVERS TO BE REPLACED WHERE INDICATED ON PLAN
- MENU BOARD - GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR TO COORDINATE WITH A.C.M. (REUSE EXISTING MENU BOARD AND PROVIDE ONE NEW OPO BOARD)
- NEW CUSTOMER ORDER DISPLAY WITH DETECTOR LOOP AND DRIVE THRU CANOPY (PER DETAIL SHEET) - GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH A.C.M.
- DOUBLE GATEWAY (PER DETAIL SHEET) - GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH A.C.M.
- INSTALL DETECTOR LOOPS AT EACH DRIVE THRU WINDOW PER DETAIL SHEET AS REQUIRED - REPAIR/REPLACE CONCRETE
- NEW GUARD RAIL
- CONSTRUCT NEW CONCRETE PAD AT RELOCATED ACCESSIBLE PARKING SPACE(S) / AISLE(S) - INSTALL ASSOCIATED SIGNAGE ON GUARDPOST
- CONSTRUCT NEW ADA COMPLIANT SIDEWALK
- CONSTRUCT NEW ACCESSIBLE RAMP OR EGRESS TO GRADE
- CONCRETE ACCESSIBLE CROSSWALK - PAINT/STRIPE PER McDONALD'S STANDARDS
- CONSTRUCT NEW CURBING OR CURB/GUTTER - TIE INTO EXISTING ADJACENT CURBING TO REMAIN WHERE APPLICABLE
- NOT USED
- DELIVERY RAMP
- REAR EGRESS TO GRADE
- ASPHALT PAVEMENT - REPAIR EXISTING ASPHALT AS REQUIRED AND SEAL LOT (NOTE: WHERE APPLICABLE, GRIND AGAINST EXISTING CONCRETE TO ENSURE SMOOTH ASPHALT/CONCRETE TRANSITION)
- RESTRIPE LOT TO ACCOMMODATE MODIFICATIONS (NOTE: EXISTING PARKING LOT STRIPING THAT WILL NOT BE USED AND IS NO LONGER NEEDED TO MEET LOT STRIPING GUIDELINES IS TO BE REMOVED COMPLETELY IN PREPARATION FOR SEAL AND STRIPE - REMOVAL TO BE DONE BY MEANS OF GRINDING, MILLING, SAND BLASTING, ETC. - THE USE OF BLACKOUT PAINT IS NOT PERMITTED - REMOVAL MUST BE INCLUDED IN BID
- PAINT DRIVE THRU DIRECTIONAL ARROW PER DETAIL SHEET
- PAINT "DRIVE THRU" WITH DIRECTIONAL ARROW PER DETAIL SHEET
- PAINT TRAFFIC FLOW ARROW PER DETAIL SHEET
- PAINT 4" WIDE STRIPE, WHITE, @ 45° 2'-0" O.C.
- PAINT "THANK YOU" PER DETAIL SHEET
- PAINT 6" WIDE STRIPE ON OUTSIDE OF DRIVE THRU LANE
- PROVIDE PULL FORWARD/PARKING STALL LOCATIONS WITH McDONALD'S APPROVED SIGNAGE - PAINT 4" WIDE STRIPES YELLOW
- NEW/MODIFIED LANDSCAPED AREA
- EXISTING TRASH CORRAL TO BE PAINTED TO MATCH BUILDING COLOR SCHEME
- NOT USED
- APPROXIMATE LOCATION OF EXISTING GREASE TRAP CONTACT TEP WITH DISCREPANCIES OR CONFLICTS WITH PROPOSED FOUNDATIONS
- APPROXIMATE LOCATION OF EXISTING POLE MOUNTED TRANSFORMER

| LEGEND                                  |                                   |
|-----------------------------------------|-----------------------------------|
| (X) SITE KEY NOTE                       | PROPERTY LINE                     |
| (X) PARKING SPACE COUNT                 | SIGN                              |
| (G) DRIVE THRU DIRECTIONAL ARROW        | BOLLARD                           |
| (G) DRIVE THRU WITH DIRECTIONAL ARROW   | SETBACK LINE                      |
| (T) TRAFFIC LOT FLOW ARROW              | TRANSFORMER                       |
| (H) HANDICAP STALL                      | CANOPY WITH COD AND DETECTOR LOOP |
| (RD) ROOF DRAIN                         | OPO MENU BOARD                    |
| (SS) SANITARY SEWER LINE                | FP-43 MENU BOARD                  |
| (UGE) UNDERGROUND ELECTRICAL            | GREASE TRAP                       |
| (W) WATER LINE                          | FLAG POLE                         |
| (G) GAS LINE                            | CURB INLET                        |
| (OHP) OVERHEAD POWER LINE               | POWER POLE                        |
| (F.F.E. = XXXXX) FINISH FLOOR ELEVATION | POLE MOUNTED AREA LIGHT           |
| (P) POLE MOUNTED AREA LIGHT             | TELEPHONE PEDESTAL                |

| PROPOSED PARKING INFORMATION |                |
|------------------------------|----------------|
| TOTAL SPACES                 | 43             |
| 2 HANDICAP SPACES            | 9' X 19' @ 90° |
| 15 SPACES                    | 9' X 19' @ 90° |
| 26 SPACES                    | 9' X 19' @ 60° |

|                                   |                                     |
|-----------------------------------|-------------------------------------|
| STREET ADDRESS<br>2385 ROANOKE ST |                                     |
| CITY<br>CHRISTIANSBURG            | STATE<br>VIRGINIA                   |
| COUNTY<br>MONTGOMERY              |                                     |
| PARCEL ID<br>026355               | LOCATION CODE NUMBER<br>45-0289     |
| TEP PID<br>120662                 | FEMA MAP NUMBER<br>51121C0165C      |
| FLOOD ZONE<br>X                   | FEMA MAP DATE<br>SEPTEMBER 25, 2009 |

| REV | DATE     | DESCRIPTION | BY |
|-----|----------|-------------|----|
| 0   | 10-15-17 |             |    |

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net

COMPTON W. CRADDOCK  
Lic. No. 057444  
PROFESSIONAL ENGINEER

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

OFFICE ADDRESS  
4801 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

| DATE | PLAN APPROVAL SIGNATURE (S REQUIRED) | DATE | STATUS       | DATE | BY |
|------|--------------------------------------|------|--------------|------|----|
|      | REGIONAL MGR. DIRECTOR               |      | FINAL        | -    | -  |
|      | REGIONAL CONSTRUCTION MGR.           |      | PLAN CHECKED | -    | -  |
|      | REGIONAL REAL ESTATE MGR.            |      | AS-BUILT     | -    | -  |
|      | CO-SIGN SIGNATURES                   |      |              |      |    |
|      | AREA CONSTRUCTION MGR.               |      |              |      |    |
|      | CONTRACTOR                           |      |              |      |    |

C-3  
SITE PLAN